

# 2023 Development Review Application

City staff contact: Dan Olson 763-531-1142 <u>dan.olson@crystalmn.gov</u> 4141 Douglas Dr N Crystal MN 55422 <u>www.crystalmn.gov</u>

1. Property Address for this application:

7000 57th Avenue North

2. Property Identification Number (PID):

0511821420063

3. Applicant:

Name:	New Horizon Academy, attn: Ms. Heidi Pross		·····	
Street:	3405 Annapolis Lane North, #100 City: Plymouth	State: MN	Zip: 55447	
Telephon	e: 763-557-1111			·····
Email:	hpross@nhacademy.net		······································	,

#### 4. Property Owner:

□ Same as the Applicant (if so, you don't need to complete this section)

a Dineteur	from the Applicant (complete t	nis secuon)			
Name:	Weinberg Family, LP Moshe	Weinberg			
Street:	7434 27th Street West	City: Minneapolis	State: MN	Zip: 55426	
Telepho	ne: 952-285-2120				
Email:	moshe e weinberg su	ipply, com			

#### 5. Project name and description:

Conversion of the existing Crystal Square one-story office building into a childcare center for New Horizon Academy. Site plan improvements include play spaces, landscaping improvements and parking lot removal (a portion thereof), remediation and repair. Building will be completely gutted and remodeled, as well as engage a Remediation Action Plan for subsurface contamination.

#### 6. Project contact (the applicant shall designate one contact person for the application):

Name:	A.Peter Hilger, AIA	Role in Pro	oject: Architect	· · · · · · · · · · · · · · · · · · ·
Compan	y: Rylaur, LLC	······································		
Street:	14 Pheasant Lane	City: North Oaks	State: MN	Zip: 55127
Business	Telephone: 612-868-3636			······································
Email:	philger@rylaur.com			

#### 7. Additional design/engineering professional (if applicable):

Name:	Mr. David Knaeble	Role in Proje	ct: Civil Engine	er
Company:	Civil Site Group	1		
Street:	5000 Glenwood Ave.	City: Golden Valley	State: MN	Zip: 55422
Business T	elephone: 612-615-0060 x 703			
Email:	dknaeble@civilsitegroup.com			

## 8. Application type: A complete development review application includes the following:

Completed and signed development review application form

See Project Narrative Completed and signed escrow form (if applicable - see list of application types below) Payment of application checklist for each respective type of application (see list below) Payment of application fee for each respective type of application (see list below)

Type	of application (check all that apply):	Application fee (nonrefundable): [1]
	Adjacent Parcel Land Conveyance Administrative Appeal Comprehensive Plan Amendment Conditional Use Permit Lot consolidation Rezoning to Planned Development Site Plan Subdivision Vacation of a public street or easement Variance Zoning Certificate Zoning Map or Text Amendment	\$220 + \$220 escrow \$220 \$660 + \$660 escrow \$660 + \$660 escrow [2] \$440 + \$440 escrow \$1,320 + \$1,320 escrow \$660 + \$330 escrow \$660 + \$66 per lot over 2, + \$660 escrow \$550 + \$550 escrow \$550 + \$275 escrow \$110 [2] \$660 + \$660 escrow
ac ap	ne escrow fee will first be applied to cover Cour ocuments associated with the application. For f plied to engineering review expenses. The rer	<b>Total fee:</b> \$ <u>3,300</u> <u>13</u> 20.00 hty recording fees and legal fees related to the review of relecommunication towers, the escrow fee will also be naining escrow fee will be returned to the applicant
<u>[</u> 4], 11	ne fee for a telecommunication tower is \$2,000	, plus a \$10,000 escrow

Notice: Review of a development application and the decision to approve, approve with modifications, or deny the application will be based on the standards and criteria found in the Crystal Comprehensive Plan, Unified Development Code and any other applicable governmental codes, guidelines, standards or policies necessary to safeguard public health, safety, aesthetics, and general welfare. Approval of this application does not absolve the applicant from obtaining all other applicable permits, such as stormwater or building permits.

<u>Applicant:</u> I (We) certify that I (we) have submitted <u>all</u> the required information to apply for consideration of a development review application and the information is factually correct and accurate.

<u>Property Owner</u>: I (We) certify that I am aware that a development review application for the property I (We) own is being submitted by the applicant.

Heidi Pross

Signature of Applicant

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Signature of Property Owner (if different from Applicant)

Date: <u>9/13/23</u>

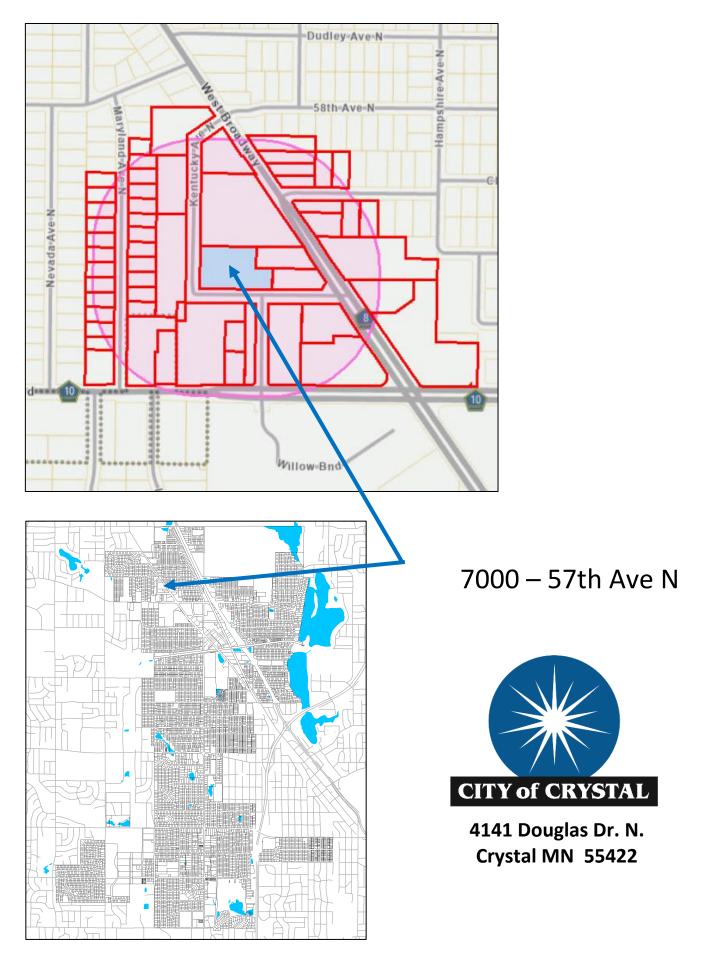
Date: 9/12/2023

FOR OFFICE USE ONLY: Application # 2023 - 06 Accounting # 0100.4418 Receipt # 170098 Date Received 9-14・アろ

Acknowledgement letter sent \_\_\_\_/ /\_\_\_\_ If application incomplete, was 60-day rule language included? \_\_\_\_\_ Plan Comm hearing \_\_\_/ / \_\_\_\_ City Council action \_\_\_/ / \_\_\_\_ Approved? Yes \_\_ No \_\_ Other\_\_

NOTES:

## Site Location and Public Hearing Notice Mailing Map



## **CITY OF CRYSTAL**

# CONDITIONAL USE PERMIT APPLICATION 7000 – $57^{TH}$ AVENUE NORTH

## PUBLIC HEARING NOTICE 7:00 P.M. ON MONDAY, OCTOBER 9, 2023 CRYSTAL CITY HALL (4141 DOUGLAS DR N) AND ZOOM VIDEO CONFERENCE

The Crystal Planning Commission will consider a conditional use permit (CUP) application from New Horizon Academy, which is proposing to purchase the property at 7000 – 57<sup>th</sup> Ave N, and remodel the existing office building into a child day care center.

## Key elements of the proposal:

- 1. **No enlargement.** The footprint for the building and parking lot will not increase (in fact the parking lot will decrease to accommodate fenced outdoor play areas). The day care will have a maximum number of 189 children under 6 years of age, with 29 staff persons.
- 2. **Parking.** The day care will have 43 parking spaces and the applicant has provided a parking analysis in their project narrative describing why this amount is sufficient based on the number of proposed children and staff.

# The Planning Commission will hold a public hearing on the application at 7:00 p.m. on October 9, 2023 in the Council Chambers at Crystal City Hall, 4141 Douglas Drive North.

## To view the application including a detailed site plan:

- > Visit City Hall during normal business hours, or
- Visit the 2023 Land Use Applications page on the city website, <u>www.crystalmn.gov</u> or use the QR code to the right for a direct link.
- The staff report to the Planning Commission will be available by October 6 on the same page of the website.



## To speak directly to the Planning Commission on the proposal, you may:

- Attend the meeting via Zoom: <u>https://go.crystalmn.gov/Oct09</u> (meeting ID is 875 8780 3975 and password is 414141) or call-in toll free at 888-475-4499, or
- > Attend the public hearing in-person on Monday, October 9, 2023 at 7 p.m. at City Hall.

LEGAL NOTICE: Notice is hereby given that the Planning Commission of the City of Crystal will meet on October 9, 2023 at 7:00 p.m. at Crystal City Hall, 4141 Douglas Drive North, in said City, to consider a conditional use permit application from New Horizon Academy to allow a child day care facility at 7000 – 57<sup>th</sup> Avenue North. After holding the public hearing, the Commission is expected to make a recommendation to the City Council for their meeting on Tuesday, October 17, 2023 at Crystal City Hall. Persons desiring to be heard are invited and encouraged to attend the public hearing. Persons unable to attend may submit written comments prior to the date of the hearing to: Dan Olson, City of Crystal, 4141 Douglas Dr N, Crystal MN 55422. Auxiliary aids are available upon request to individuals with disabilities by calling the city clerk at 763-531-1145 at least 96 hours in advance. TTY users may call Minnesota Relay at 711 or 1-800-627-3529.



September 12, 2023

## SUMMARY REPORT

## TO: Mr. Dan Olson; City Planner, City of Crystal

FROM: A. Peter Hilger, AIA philger@rylaur.com

### RE: New Horizon Academy 7000 57<sup>th</sup> Avenue North

Please find attached all applications and documentation necessary for the City of Crystal to review and hopefully approve this proposed development. Following is a narrative summary of the proposed project.

## ABOUT NEW HORIZON ACADEMY

New Horizon Academy is a high-quality early learning provider that is 4-Star Parent Aware rated and accredited by the National Association for the Education of Young Children ("NAEYC"), the gold standard in the early childhood industry. New Horizon Academy has been serving metro area families since 1972 and seeks to fill a market gap at this location. The school will be fully functional within this existing structure requiring substantial remodeling to meet their criteria. They expect this to be a first-class, purpose-built facility designed by New Horizon Academy for existing and new families seeking high quality, educational child care.

#### **ABOUT THE SITE**

The site is presently known as Crystal Square, located on the northeast corner of Kentucky and 57<sup>th</sup> Avenue North. Constructed in 1976, it is a modest low-rise 1-story office building serving multiple tenants on short term leases. The site has an existing but "tired" parking area, much of which will be re-purposed into age-appropriate play areas.

The site is currently zoned Commercial within Zone "X", within the town Center Overlay District Childcare is an approved use by Conditional use Permit, as presently applied, and is consistent with the City's Comprehensive Plan. The site is in an area determined to be outside the 0.2% annual chance flood plain

The proposed use as a childcare center does not generate any environmental concerns, nor does it generate noise (except children at play – hopefully deemed a pleasant sound). Hours of operation are generally 6:00 AM to 6:00 or 6:30 PM, Monday through Friday. New parking lot and building lighting is proposed to be glare free and energy efficient.

A Phase 1 and Phase 2 Environmental Evaluation has been completed, detecting environmental groundwater contamination from off-site sources that must be mitigated. New Horizon has experience with this process and has retained Braun Intertec to provide the Remediation Action Plan, such plan to include a vapor mitigation plan.

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## **BUILDING AND OCCUPANCY**

At 15,948 SF, this single-story building is intended to be visually re-purposed to blend with, and improve, the general characteristics of its commercial neighbors. The actual program breaks down as follows:

Infants: 3 rooms @ 12 = 36Transition: 1 room @ 14 = 14Toddler: 2 rooms @ 14 = 28Toddler: 1 room @ 21 = 21Preschool: 3 rooms @ 20= 60<u>Preschool: 1 room @ 30 = 30</u> **TOTAL CHILD COUNT: 189 + 29 staff** <u>Typical Industry Occupancy Rate 80% (conservative)</u> **TOTAL Planned Population Daily Density: 141** 

With accessory spaces as follows:

Large Motor Play Space: 1200 SF for use by occupants Various Storage, Service and Administrative functions An office for a community social services liaison A sensory/calming environment (new to New Horizon)

Operationally, on any typical operating day during the school year at New Horizon's typical existing centers that are slightly smaller than this center, daily attendance averaged 143 children (typical school capacity is 172 children, 75% occupancy rate) and 23 staff, including families that have two children attending. It is important to note that licensed capacity is strictly focused on design standards for classrooms and play spaces. Rarely are any centers fully occupied. Occupancy always fluctuates and is rarely over 80% of licensed capacity. Finally, many staff also have their own children in the program.

A segregated trash enclosure is proposed on the east side of the property, constructed of similar ribbed rockface concrete block to match the building.

The building will be re-classified as Type V-N construction, I-4 occupancy with a new fire sprinkler system for the entire building.

#### ARCHITECTURE

The existing architecture features alternating panels of deep ribbed corduroy concrete block units alternating with panels of 4' wide glass. The spandrel above and below the windows is an exposed aggregate treatment. Overall, the alternating panel treatment is expected to remain, however we propose to raise several parapet areas comprised of stucco that are symmetrically placed along the four more-or-less equal facades to break up the stark horizontality of the building. As there are no parapets presently, this would enable some limited blocking of sight lines to existing rooftop units. Tow of these stucco parapets would also host a wall sign panel along the street frontages. Finally, we are proposing adding some concrete stone materials to the front curved element as well as create a larger covered entry canopy, subsuming the existing, almost invisible roof covering. The panels would be treaded with a New Horizon blue metal accent stripe.

## PLAY SPACES

New Horizon Academy is committed to well-designed play-spaces, ones that do not rely solely upon large motor skill equipment, but also some natural elements that invite a child's explorative curiosity in keeping with their mission. The plans call for the three different play areas (infant, toddler, and preschool). Additionally, the play areas will utilize best practices for safety. The play areas are all designed well above the licensing standard minimum areas, summarized as follows:

- Infant area: 1020 SF / 12 children = one room per play (crawl) session
- Toddler Area: 36600 SF / 48 children > 63 licensed (limit two rooms max per session)
- Preschool Area: 9,735 SF / 129 children = 129 licensed (likely 1or 2 classrooms per session)

## FENCING, LANDSCAPING AND SCREENING

Each of the three age-segregated play areas are proposed to be fenced with a 6'-0" high black steel ornamental picket style (no screening or opacity) where fronting a property boundary. Internal fences separating play spaces from each other are 5' high (such as between Toddler and Preschool play-spaces. The south street frontage along 57<sup>th</sup> Avenue North would have only 18% of its overall length fenced up to the utility easement line (enclosing the Infant play space). 60% of the Kentucky Avenue North frontage would be fenced, primarily protecting the discharge pathway from the toddler classrooms to the toddler play-space on the northwest corner of the lot. In all but the roughly 54' exposed to the play area, the fence is setback approximately 16' from the property line demarcated by the existing city sidewalk, reduced to 5' setback for approximately 40' at the Toddler play-space. All fence gates would be secured with panic hardware and pool alarms.

The proposed landscape is an attractive and diverse planting, providing seasonal interest throughout the year. Plants were selected to match the site conditions, and to meet the city landscape standards.

Existing and proposed utilities on the west side of the site limit the ability to provide the required 18 deciduous overstory trees along street frontages. To make up for this deficiency, additional trees have been added throughout the site, for a total of 19 overstory, and 7 understory trees. There is an electric utility easement along 57<sup>th</sup> Av., and a drainage and utility easement that runs the length of the east perimeter. These were noted on the survey, and it needs to be confirmed whether trees and shrubs can be planted in these areas.

The ash tree that is not impacted by the proposed stormwater management system, appears to already have Emerald Ash borer damage, and limits the opportunity to treat for prevention. A note is on the drawing to have an arborist review and confirm.

The landscape will be fully irrigated with a system using water efficient technologies such as water saving sensors, a flow meter, and dripline in the planting beds.

## SIGNAGE

We are proposing to create slightly raised wall sign panel areas on the Kentucky and 57<sup>th</sup> Street frontages, symmetrically balanced on the new parapet treatment. In addition, a sign over the new entrance canopy facing the parking lot is proposed. All signage areas are well below the allowable areas.

We are proposing, at a minimum, to remodel the existing building monument sign, but would like to explore the option for a pylon type sign at this location.

## PARKING

The existing parking lot is primarily the same layout as present, however a bit shortened to accommodate the preschool play area, and reverting to one curb cut off of 57<sup>th</sup>. The school "bus" used by new Horizon is typically a small expanded van. The lot is expected to accommodate 43 parking spaces, including 2 designated handicap stalls.

The City of Crystal does not regulate the quantity of childcare parking stalls. Therefore, we are proposing our judgment from operating so many centers, as well as a traffic study generated on our behalf for a typical center (attached for reference), and other data to support our design. Further, it should be noted that there is on street parking on both Kentucky and 57<sup>th</sup> Avenue, though except in tight urban areas, we do not like to rely on on-street parking.

First, the Institute of Traffic Engineers (ITE) Parking Generation Manual has established tyhree separate calculation metrics:

- a rate of 0.24 spaces per student, Using 0.24 X 189 students = 45 parking stalls, 2 stalls less than we have planned.
- An average of 2.45 stalls per 1,000 SF = 15,948 gross X 90% = 14,353 SF net/1,000 = 14.3 X 2.45 = 39 stalls
- an average of 1.22 spaces per employee = 29 X 1.22 = 35 stalls

Daycare Center #560 # stalls applied to our site:		student 45.36	per employee 35.38	40
ITE Parking Generation Manual, 5th Edition -	Average 2.45 per 1.000 SF		Average 1.22 spaces	Average of 3 ITE Factors

Averaging these three factors yields a parking stall count of **40 stalls**, less than the 43 stalls we are proposing.

Second, New Horizon Academy has commissioned a traffic study of their existing Apple Valley center, of a similar though slightly smaller size (17more children in Crystal), to provide empirical evidence of the licensed occupant load calculations and their impact on parking.

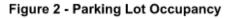
Following are the actual peak hour and 14-hpour total traffic trip generation for a typical week at the existing centers of similar size and design:

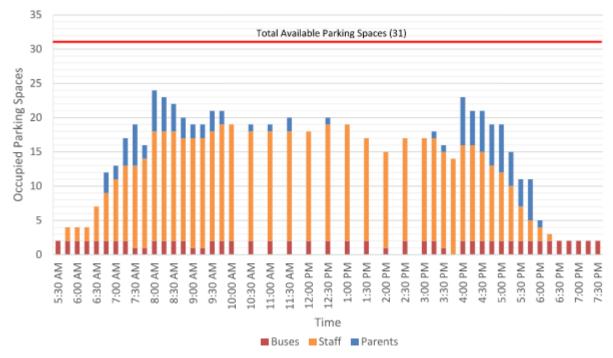
Table 1 – Entering	and Exiting	volumes	(2021)
Time Period	Entering	Exiting	Total
AM (7:15 - 8:15 AM)	61	56	117
PM (4:30 - 5:30 PM)	54	64	118
Daily (14-hr total)	259	259	518

## Table 1 – Entering and Exiting Volumes (2021)

The following chart summarizes the density of use of the parking lot from the Apple Valley center from 5:30 - 7:30: From this study, the maximum number of occupied parking spaces at any given time was 24, occurring at 8:00 AM during the morning peak.

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Finally, there is plenty of regional justification for a lower standard. Rylaur has designed over 100 childcare centers around the City and country, and offers the following examples of parking densities for similarly designed and managed facilities in suburban locations:

Suburban Standard	Children	Staff	Combined	For 126 Children*	Occupants	Notes		
Suburbari Standard	children Staff		Combined	+ 21 Staff Per Stall		Notes		
St Paul (suburban comparable)	numt	per of staff la	rgest shift	23	6.87	Discount as outlier		
Golden Valley	1:06	NA		21	7.52	staff included in child ratio		Г
Maple Grove	1:07	1:3 classrms		21	7.52			ŭ
St. Louis Park	1:10	1:02		23	6.87			akes
Shakopee	1:05	NA		25	6.32	staff included in child ratio		i l
Edina	1:20	1:01		27	5.85		26.9	
Rosemount	1:20	1:01		34	4.65		20.9	Below
Eagan	-	-	10 + 1/500SF	35	4.51			e d
Bloomington	1.2:10	1:01		36	4.39			Алегаре
Brooklyn Park	1:07	1:01		39	4.05			Ā
Plymouth	1:06	1:01		42	3.76			
Lino Lakes	1:05	1:01		46	3.43	Permits proven deferment		
Blaine	No stan	dard, determ	ined by staff	NA		"same basis as most similar"		
Brooklyn Center No standard, determin		ined by staff	NA		Demonstrate capacity			
Crystal	No standard, determi		ined by staff	NA		Demonstrate capacity		
Eden Prairie No standard, determi		ined by staff	NA		Demonstrate capacity			
*full day licensed capacity			AVERAGE	32	5.42			

Though this data is for a smaller capacity center, the data suggests an average of 5.42 occupants per stall, meaning our 43 stall parking lot could support 233 occupants, well above our planned capacity.

		Pre- School Age					Ratio:	Ratio:
SUBURBAN	Total Bldg Area	Licensed Capacity	School Age*	Total	Staff	Parking Stalls	Stall/Bldg Area	Occupants*/Stall
Lino Lakes	12,873	138	0	138	22	45	286	3.56
Eden Prarire-1	9,915	124	30	154	23	38	261	3.87
Blaine	10,733	142	30	172	21	39	275	4.18
Lakeville	10,560	122	27	149	21	33	320	4.33
Plymouth-1	5,872	87	20	107	22	25	235	4.36
Brooklyn Park-3	12,400	143	20	163	21	37	335	4.43
Shakopee-1	12,522	146	30	176	24	38	330	4.47
Eden Prarire-2	14,537	189	0	189	34	47	309	4.74
Elk River	10,560	112	30	142	21	28	377	4.75
Maple Grove	5,873	87	20	107	22	22	267	4.95
Coon Rapids	10,139	142	30	172	23	33	307	5.00
Eagan	11,928	132	30	162	24	31	385	5.03
Plymouth-2	13,023	141	0	141	23	32	407	5.13
Brooklyn Park-2	9,614	126	0	126	23	28	343	5.32
Plymouth-3	10,733	142	30	172	25	31	346	5.39
Brooklyn Park-1	10,947	126	0	126	23	27	405	5.52
Apple Valley	10,563	142	30	172	21	29	364	5.62
St. Louis Park	10,140	138	30	168	26	28	362	5.86
Rosemount	12,106	176	0	176	25	34	356	5.91
Shakopee-2	11,000	154	30	184	24	27	407	6.59
St. Paul - North (suburban)	14,082	166	30	196	26	27	522	7.11
Edina	10,085	132	0	132	20	21	480	7.24
AVERAGE	10,803	135		156	23	32	351	5.01
CRYSTAL SITE	15,948	189	0	189	29	42	380	5.19

## DEVELOPED SITE COMPARISONS - CHILD CARE SIZE/OCCUPANCY/PARKING

As you can see from this comparative study, we are right in line with regional evidence and experience, providing slightly more parking than other codes and traffic standards would allow, not even counting street parking. Based upon this evidence from three separate source calculations, we respectfully request the parking determination to properly reflect the proposed design.

## SUMMARY

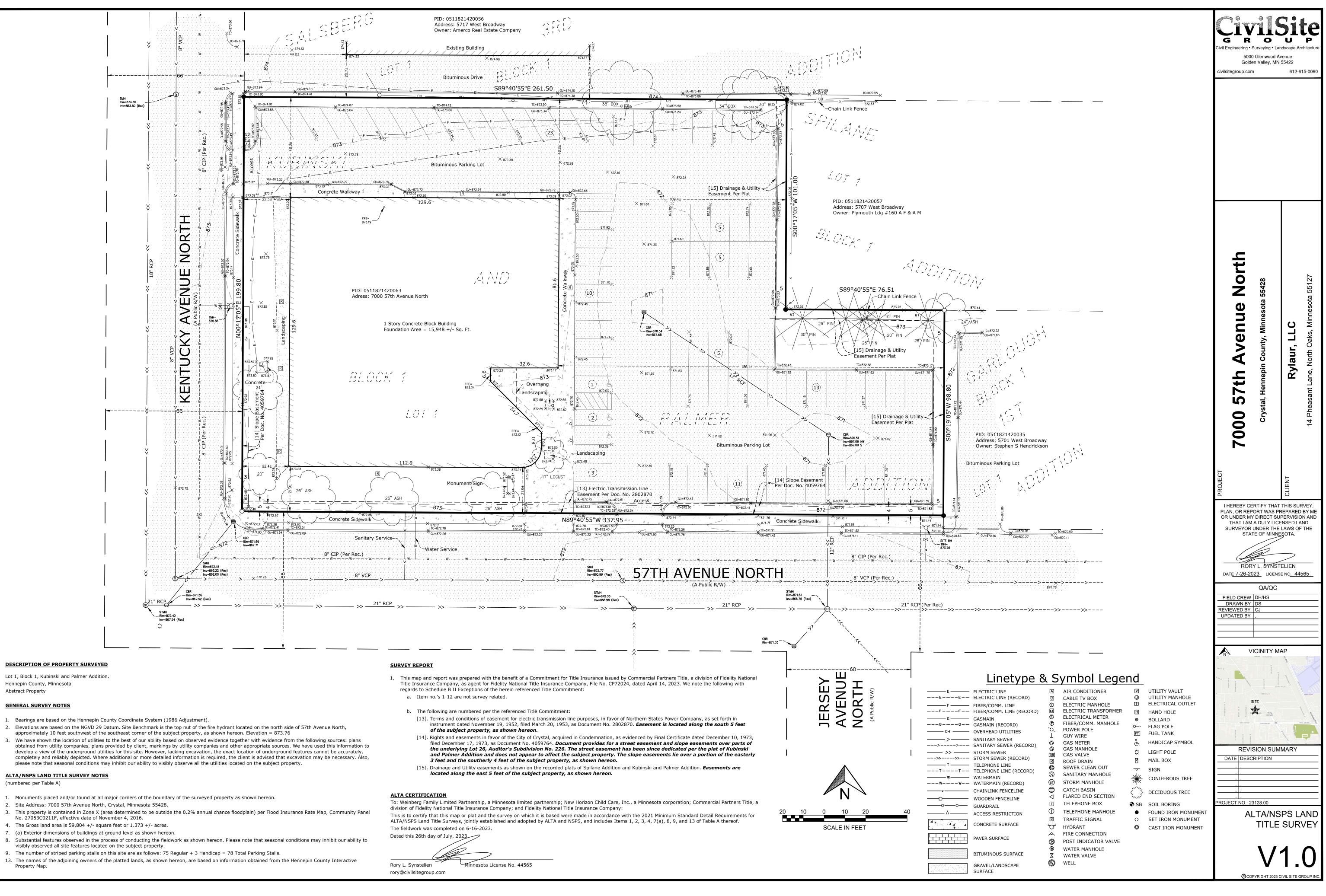
We respectfully request your approval of the proposed Conditional Use Permit, as we believe this to be a good fit for the neighborhood and the Crystal community, and is well integrated into the immediate neighborhood.

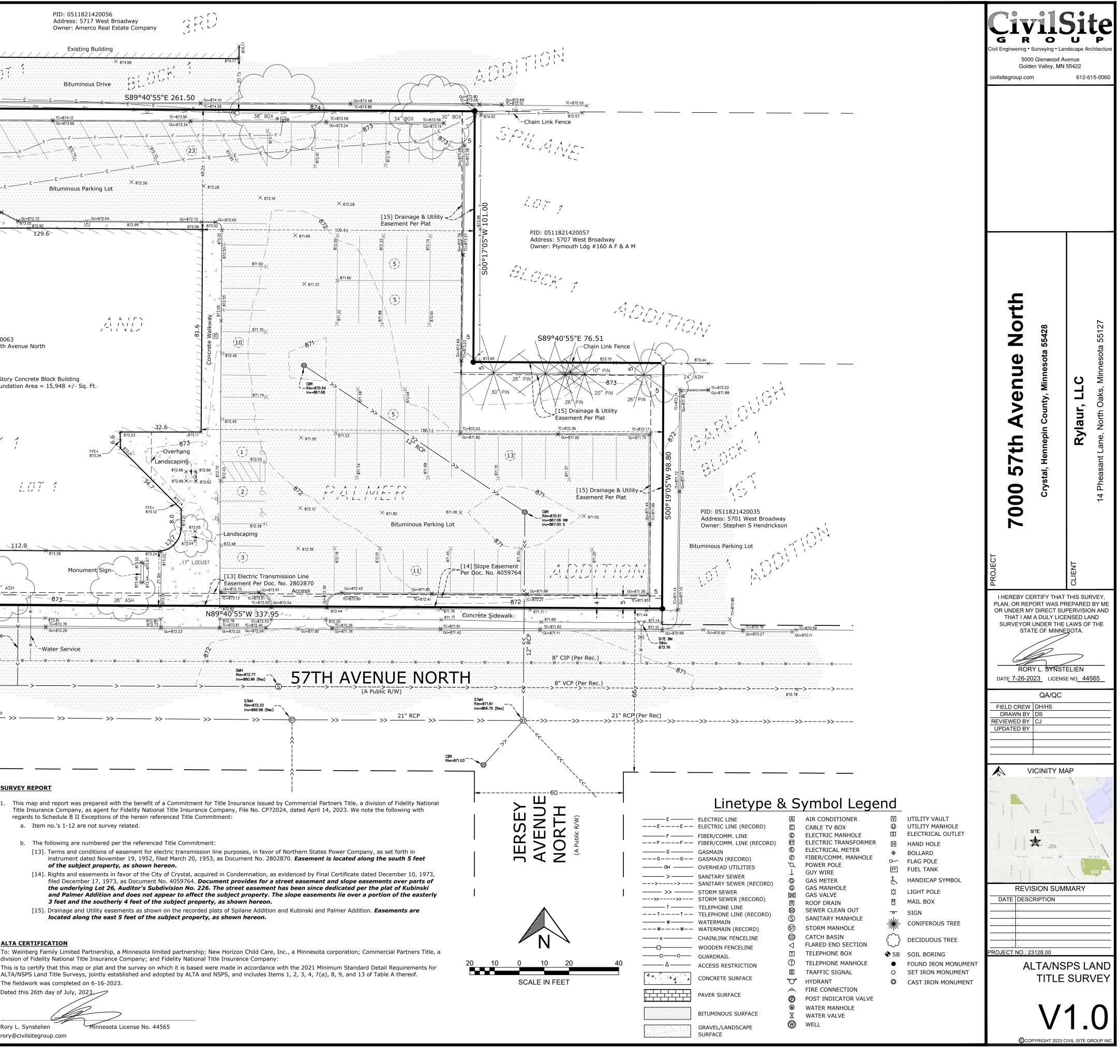
Thank you for your consideration. If you have questions, or need additional information, please advise.



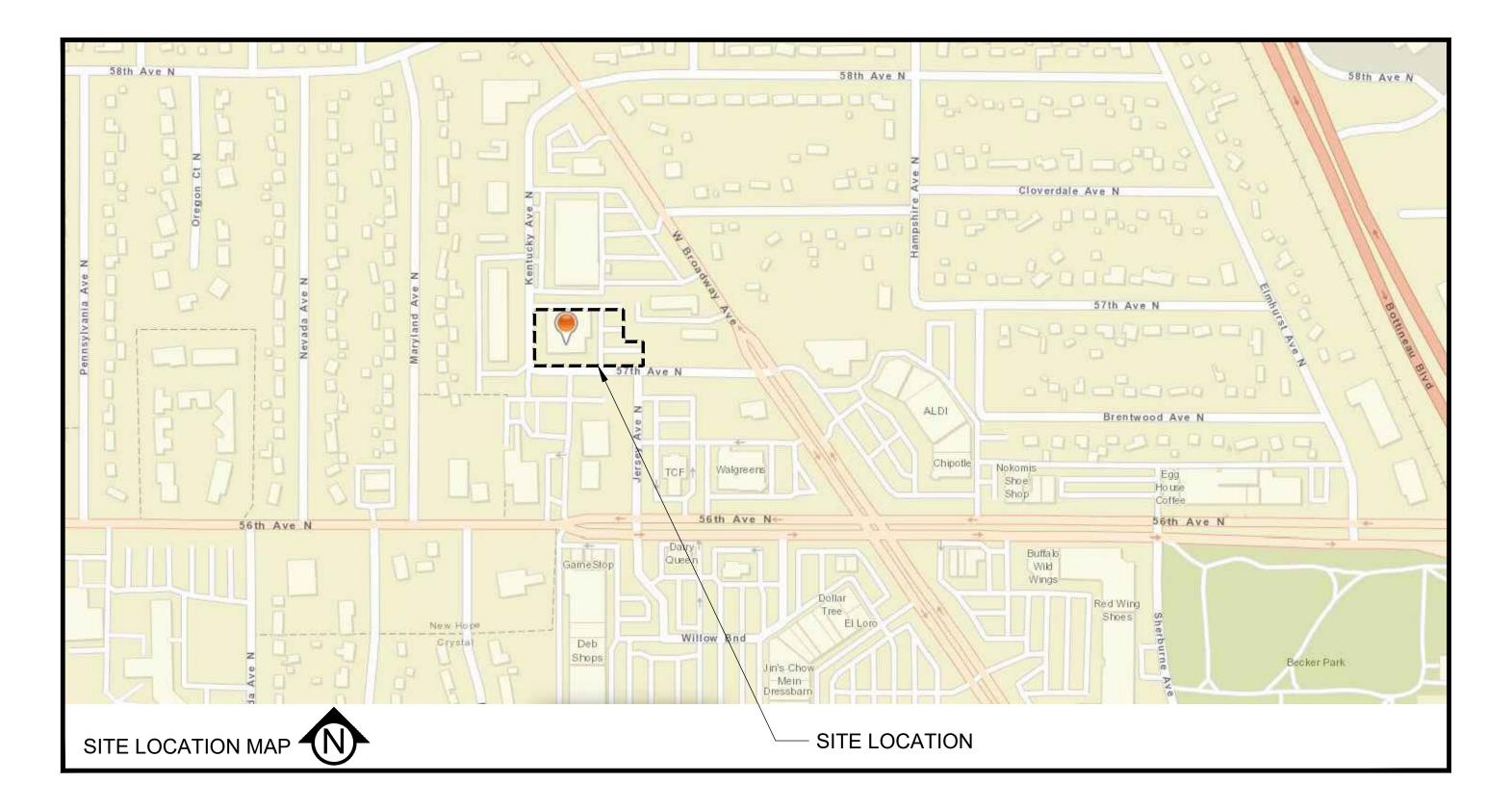
## END OF SUMMARY REPORT

Attachments: New Horizon Traffic Study - Apple Valley, SEH, October 20, 2021





# NEW HORIZON ACADEMY CRYSTAL, MINNESOTA **ISSUED FOR: CITY SUBMITTAL**



	PROJECT CON	TACTS
	NAME & ADDRESS	CONTACT
CIVIL ENGINEER	CIVIL SITE GROUP 5000 GLENWOOD AVE GOLDEN VALLEY, MN 55422	DAVE KNAEBLE 612-615-0060 DKNAEBLE@CIVILSITEGROUP.COM
LANDSCAPE ARCHITECT	CIVIL SITE GROUP 5000 GLENWOOD AVE GOLDEN VALLEY, MN 55422	PATRICK SARVER 612-615-0060 PSARVER@CIVILSITEGROUP.COM
PROPERTY OWNER	NEW HORIZON ACADEMY 3405 ANNAPOLIS LANE N, SUITE 100 PLYMOUTH, MN 55447	HEIDI PROSS 763-383-6216 HPROSS@NHACADEMY.NET
ARCHITECT	RYLAUR, LLC 14 PHEASANT LANE NORTH OAKS, MN 55127	A. PETER HILGER 612-868-3636 PHILGER@RYLAUR.COM
SURVEYOR	CIVIL SITE GROUP 5000 GLENWOOD AVE GOLDEN VALLEY, MN 55422	RORY SYNSTELIEN 612-615-0060 RORY@CIVILSITEGROUP.COM
GEOTECHNICAL ENGINEER	BRAUN INTERTEC 11001 HAMPSHIRE AVE S MINNEAPOLIS, MN 55348	JUSTIN P. MICHAEL 952-995-2000 JMICHAEL@BRAUNINTERTEC.COM

ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

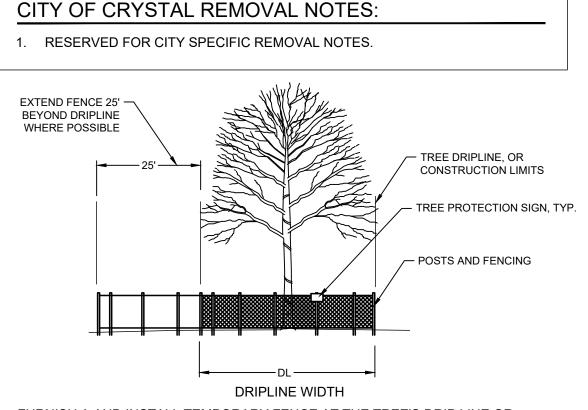


Know what's **below**. **Call** before you dig

		G F Civil Engineering 500	g · Surveying · Lan 00 Glenwood Ave olden Valley, MN	
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		NEW HORIZON ACADEMY	, MN 55428	NEW HORIZON ACADEMY 3405 ANNAPOLIS LANE N, PLYMOUTH, MN 55447
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## REMOVAL NOTES:

- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- SEE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PLAN FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN.
- REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH MNDOT, STATE AND LOCAL REGULATIONS.
- REMOVAL OF PRIVATE UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER PRIOR TO CONSTRUCTION ACTIVITIES.
- EXISTING PAVEMENTS SHALL BE SAWCUT IN LOCATIONS AS SHOWN ON THE DRAWINGS OR THE NEAREST JOINT FOR PROPOSED PAVEMENT CONNECTIONS.
- REMOVED MATERIALS SHALL BE DISPOSED OF TO A LEGAL OFF-SITE LOCATION AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- ABANDON, REMOVAL, CONNECTION, AND PROTECTION NOTES SHOWN ON THE DRAWINGS ARE APPROXIMATE. COORDINATE WITH PROPOSED PLANS.
- EXISTING ON-SITE FEATURES NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONTRACT.
- PROPERTY LINES SHALL BE CONSIDERED GENERAL CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED ON THE DRAWINGS. WORK WITHIN THE GENERAL CONSTRUCTION LIMITS SHALL INCLUDE STAGING, DEMOLITION AND CLEAN-UP OPERATIONS AS WELL AS CONSTRUCTION SHOWN ON THE DRAWINGS.
- 10. MINOR WORK OUTSIDE OF THE GENERAL CONSTRUCTION LIMITS SHALL BE ALLOWED AS SHOWN ON THE PLAN AND PER CITY REQUIREMENTS. FOR ANY WORK ON ADJACENT PRIVATE PROPERTY, THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER PRIOR TO ANY WORK
- 11. DAMAGE BEYOND THE PROPERTY LIMITS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN A MANNER APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT OR IN ACCORDANCE WITH THE CITY.
- 12. PROPOSED WORK (BUILDING AND CIVIL) SHALL NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE SHOWN ON THE DRAWINGS AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
- 13. SITE SECURITY MAY BE NECESSARY AND PROVIDED IN A MANNER TO PROHIBIT VANDALISM, AND THEFT, DURING AND AFTER NORMAL WORK HOURS, THROUGHOUT THE DURATION OF THE CONTRACT. SECURITY MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY
- 14. VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED FOR DELIVERY AND INSPECTION ACCESS DURING NORMAL OPERATING HOURS. AT NO POINT THROUGHOUT THE DURATION OF THE CONTRACT SHALL CIRCULATION OF ADJACENT STREETS BE BLOCKED WITHOUT APPROVAL BY THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- 15. ALL TRAFFIC CONTROLS SHALL BE PROVIDED AND ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- 16. SHORING FOR BUILDING EXCAVATION MAY BE USED AT THE DISCRETION OF THE CONTRACTOR AND AS APPROVED BY THE OWNERS REPRESENTATIVE AND THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- 17. STAGING, DEMOLITION, AND CLEAN-UP AREAS SHALL BE WITHIN THE PROPERTY LIMITS AS SHOWN ON THE DRAWINGS AND MAINTAINED IN A MANNER AS REQUIRED BY THE CITY.
- 18. ALL EXISTING SITE TRAFFIC/REGULATORY SIGNAGE TO BE INVENTORIED AND IF REMOVED FOR CONSTRUCTION SHALL BE RETURNED TO LGU.
- 19. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



FURNISH A AND INSTALL TEMPORARY FENCE AT THE TREE'S DRIP LINE OR CONSTRUCTION LIMITS AS SHOWN ON PLAN, PRIOR TO ANY CONSTRUCTION. WHERE POSSIBLE PLACE FENCE 25' BEYOND DRIP LINE. PLACE TREE PROTECTION SIGN ON POSTS, ONE PER INDIVIDUAL TREE (FACING CONSTRUCTION ACTIVITY), OR ONE EVERY 100' LF ALONG A GROVE OR MULTI-TREE PROTECTION AREA.

**REE PROTECTION** 

SITE AREA CALCULATIONS						
	EXISTING CO	NDITION	P	ROPOSED CC	ONDITION	
IMPERVIOUS SURFACES						
BUILDING COVERAGE	15,948 SF	26.7%		16,129 SF	27.0%	
PAVEMENT	32,819 SF	54.9%		27,541 SF	46.1%	
TOTAL	48,767 SF	81.5%	1.1 AC	43,670 SF	73.0%	1.0 AC
PERVIOUS SURFACES						
TOTAL	11,037 SF	18.5%	0.3 AC	16,134 SF	27.0%	0.4 AC
TOTAL SITE AREA	59,804 SF	100.0%	1.4 AC	59,804 SF	100.0%	1.4 AC
DIFFERENCE (EX. VS PROP.)	-5,097 SF	-8.5%				
BITUMINOUS MILL & OVERLAY	14,431 SF		0.3 AC			
DISTURBED AREA	27,544 SF		0.6 AC			

## SITE LAYOUT NOTES:

- CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- INSTALLATION OF MATERIALS. STAKE LAYOUT FOR APPROVAL.
- INCLUDING A RIGHT-OF-WAY AND STREET OPENING PERMIT.
- PRIOR TO INSTALLATION OF SITE IMPROVEMENT MATERIALS.
- PRIOR TO INSTALLATION OF FOOTING MATERIALS.
- REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
- AS SHOWN ON THE DRAWINGS.
- PREFABRICATED SITE IMPROVEMENT MATERIALS SUCH AS, BUT NOT LIMITED TO THE REJECT INSTALLED MATERIALS NOT PREVIOUSLY APPROVED.
- IN ACCORDANCE WITH A.D.A. REQUIREMENTS-SEE DETAIL.
- 10. CROSSWALK STRIPING SHALL BE 24" WIDE WHITE PAINTED LINE, SPACED 48" ON CENTER REQUIRED BY ADA OR LOCAL GOVERNING BODIES.
- 11. SEE SITE PLAN FOR CURB AND GUTTER TYPE. TAPER BETWEEN CURB TYPES-SEE DETAIL
- 12. ALL CURB RADII ARE MINIMUM 3' UNLESS OTHERWISE NOTED.
- DIMENSIONS PRIOR TO SITE IMPROVEMENTS.
- 14. FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.
- OTHERWISE.
- 16. ALL PARKING LOT PAINT STRIPING TO BE WHITE, 4" WIDE TYP.
- FOR PAVEMENT SECTIONS.
- 18. ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE. SEE LANDSCAPE DOCUMENTS.
- CURB AND/OR SIDEWALK INSTALLATION TO REVIEW AND INSPECT CURB STAKES. PROCEDURE IS NOT FOLLOWED.

C	PERATION
SNOW REMOVAL	ALL SNOW SHA PARKING LOT. REMOVE EXCE
TRASH REMOVAL	TRASH SHALL AREA AND REM WEEKLY.
DELIVERIES	DELIVERIES SH VIA STANDARE VEHICLES (UPS

1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE

CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCATIONAL ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION,

THE CONTRACTOR SHALL VERIFY RECOMMENDATIONS NOTED IN THE GEO TECHNICAL REPORT

5. CONTRACTOR SHALL FIELD VERIFY COORDINATES AND LOCATION DIMENSIONS & ELEVATIONS OF THE BUILDING AND STAKE FOR REVIEW AND APPROVAL BY THE OWNERS REPRESENTATIVE

6. LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND WALKS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD, PRIOR TO INSTALLATION, FOR

CURB DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION. LOCATION OF BUILDING IS TO BUILDING FOUNDATION AND SHALL BE

8. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR SAMPLES AS SPECIFIED FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR ALL FOLLOWING, FURNISHINGS, PAVEMENTS, WALLS, RAILINGS, BENCHES, FLAGPOLES, LANDING PADS FOR CURB RAMPS, AND LIGHT AND POLES. THE OWNER RESERVES THE RIGHT TO

PEDESTRIAN CURB RAMPS SHALL BE CONSTRUCTED WITH TRUNCATED DOME LANDING AREAS

PERPENDICULAR TO THE FLOW OF TRAFFIC, WIDTH OF CROSSWALK SHALL BE 5' WIDE, ALL OTHER PAVEMENT MARKINGS SHALL BE WHITE IN COLOR UNLESS OTHERWISE NOTED OR

13. CONTRACTOR SHALL REFER TO FINAL PLAT FOR LOT BOUNDARIES, NUMBERS, AREAS AND

15. PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS NOTED

17. BITUMINOUS PAVING TO BE "LIGHT DUTY" UNLESS OTHERWISE NOTED. SEE DETAIL SHEETS

CONTRACTOR IS RESPONSIBLE TO INSTALL ANY SIDEWALK AND CURBING PER DESIGN PLAN. CONTRACTOR TO VERIFY ALL CURBS AND SIDEWALKS WILL DRAIN PROPERLY IN FIELD CONDITIONS. CONTRACTOR MUST CONTACT THE CIVIL ENGINEER 24-HOURS PRIOR TO ANY CONTRACTOR IS RESPONSIBLE FOR ANY CURB OR SIDEWALK REPLACEMENT IF THIS

NAL NOTES

ALL BE STORED ON-SITE OUTSIDE . WHEN FULL, REMOVAL CO. SHALL ESS OFF-SITE.

BE PLACED IN EXTERIOR TRASH MOVED BY COMMERCIAL CO.

HALL OCCUR AT THE FRONT DOOR D COMMERCIAL DELIVERY PS, FED-EX, USPS).

GENERAL GRADING NOTES:

- CONTRACTOR SHALL VERIFY ALL BUILDING ELEVATIONS, (FFE, LFE, GFE), PRIOR TO CONSTRUCTION BY CROSS 1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY CHECKING WITH ARCHITECTURAL, STRUCTURAL AND CIVIL ELEVATIONS FOR EQUIVALENT "100" ELEVATIONS. LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL THIS MUST BE DONE PRIOR TO EXCAVATION AND INSTALLATION OF ANY FOOTING MATERIALS. VERIFICATION REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING OF THIS COORDINATION SHALL BE CONFIRMED IN WRITING BY CIVIL, SURVEYOR, ARCHITECTURAL, CONSTRUCTION AT NO COST TO THE OWNER. STRUCTURAL AND CONTRACTOR PRIOR TO CONSTRUCTION. 2. SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF COST TO THE OWNER. DISCREPANCIES OR VARIATIONS FROM THE PLANS. 3. SEE SITE PLAN FOR HORIZONTAL LAYOUT & GENERAL GRADING NOTES UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE 4. THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION (INCLUDING BUT NOT LIMITED TO SITE INSTALLATION" AND "SANITARY SEWER AND STORM SEWER INSTALLATION" PREPARATION, SOIL CORRECTION, EXCAVATION, EMBANKMENT, ETC.) IN ACCORDANCE WITH THE AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS PROJECT SPECIFICATIONS. AND INSPECTIONS WITH THE SOILS ENGINEER. 5. CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE OWNER. ANY ELEMENTS OF AN EARTH RETENTION SYSTEM AND RELATED EXCAVATIONS THAT FALL WITHIN THE PUBLIC RIGHT OF WAY WILL REQUIRE A "RIGHT OF WAY EXCAVATION PERMIT". CONTRACTOR IS RESPONSIBLE FOR 6. ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) AWWA C151, AQUIRING THIS PERMIT PRIOR TO CONSTRUCTION IF APPLICABLE ASME B16.4, AWWA C110, AWWA C153 UNLESS OTHERWISE NOTED. 6. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" 7. ALL SANITARY SEWER SHALL BE SDR 26 POLYVINYL CHLORIDE (PVC) ASTM (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE D3034 & F679, OR SCH 40 ASTM D1785, 2665, ASTM F794, 1866) UNLESS CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO OTHERWISE NOTED. COST TO THE OWNER. 8. ALL STORM SEWER PIPE SHALL BE HDPE ASTM F714 & F2306 WITH ASTM GRADING AND EXCAVATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL POLLUTION D3212 SPEC FITTINGS UNLESS OTHERWISE NOTED. DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS & PERMIT REQUIREMENTS OF THE CITY. 9. PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR PROPOSED SPOT GRADES ARE FLOW-LINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED. TO END OF FLARED END SECTION. 10. UTILITIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING GRADES OF WALKS SHALL BE INSTALLED WITH 5% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 2% MAX. CROSS 9. FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL SLOPE, UNLESS OTHERWISE NOTED. CONNECTION TO BUILDING LINES. COORDINATE WITH ARCHITECTURAL AND 10. PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS, MAXIMUM MECHANICAL PLANS. **SLOPES IN MAINTAINED AREAS IS 4:1** 11. CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER 11. PROPOSED RETAINING WALLS, FREESTANDING WALLS, OR COMBINATION OF WALL TYPES GREATER THAN 4' IN DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED HEIGHT SHALL BE DESIGNED AND ENGINEERED BY A REGISTERED RETAINING WALL ENGINEER. DESIGN ELEVATIONS. DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. 12. A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATERMAIN IS INCIDENTAL. RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOPSOIL AND SODDING ACTIVITIES. 13. A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS 13. IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL OTHERWISE NOTED. MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE 14. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH SITE. CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO 14. EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS CONSTRUCTION. DESIGNATED ON THE SITE. THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE 15. CONNECTIONS TO EXISTING STRUCTURES SHALL BE CORE-DRILLED. SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, 16. COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE ROADWAYS AND PARKING AREAS. THE CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE MECHANICAL DRAWINGS. ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES. 17. COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF. 15. FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS 18. ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN REQUIREMENTS OF THE CITY. ALL PAVEMENT CONNECTIONS SHALL BE SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SAWCUT. ALL TRAFFIC CONTROLS SHALL BE PROVIDED BY THE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISH GRADED SHALL BE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION, REPAIR ALL AREAS MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) THAT HAVE BECOME RUTTED BY TRAFFIC OR ERODED BY WATER OR HAS SETTLED BELOW THE CORRECT AND THE CITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO SIGNAGE, GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK PERMITTED WITHOUT APPROVAL BY THE CITY. 16. PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND/OR 19. ALL STRUCTURES, PUBLIC AND PRIVATE, SHALL BE ADJUSTED TO PROPOSED PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS GRADES WHERE REQUIRED. THE REQUIREMENTS OF ALL OWNERS MUST BE WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLIED WITH. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH OWNERS REQUIREMENTS FOR TRAFFIC LOADING. SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE 20. CONTRACTOR SHALL COORDINATE ALL WORK WITH PRIVATE UTILITY COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER. NO TEST ROLL SHALL OCCUR COMPANIES. WITHIN 10' OF ANY UNDERGROUND STORM RETENTION/DETENTION SYSTEMS. 21. CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT 17. TOLERANCES CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK. 17.1. THE BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW. THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE. 22. ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE 17.2. THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE OR OTHER STRUCTURES. MEASUREMENT IS MADE. 23. ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF 17.3. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE REQUIRED ELEVATION. UNLESS DIRECTED OTHERWISE BY THE ENGINEER. WITH MN RULES, CHAPTER 4714, SECTION 1109.0. 17.4. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS. 18. MAINTENANCE 18.1. THE CONTRACTOR SHALL PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION, AND KEEP AREA FREE OF TRASH AND DEBRIS. 18.2. CONTRACTOR SHALL REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO SPECIFIED TOLERANCES. DURING THE CONSTRUCTION, IF REQUIRED, AND DURING THE WARRANTY PERIOD, ERODED AREAS WHERE TURF IS TO BE ESTABLISHED SHALL BE RESEEDED AND MULCHED.
  - 18.3. WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, CONTRACTOR SHALL SCARIFY, SURFACE, RESHAPE, AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION.

## CITY OF CRYSTAL SITE SPECIFIC NOTES:

1. RESERVED FOR CITY SPECIFIC SITE NOTES.

## CITY OF CRYSTAL GRADING NOTES:

1. RESERVED FOR CITY SPECIFIC GRADING NOTES.

## **GENERAL UTILITY NOTES:**

## CITY OF CRYSTAL UTILITY NOTES:

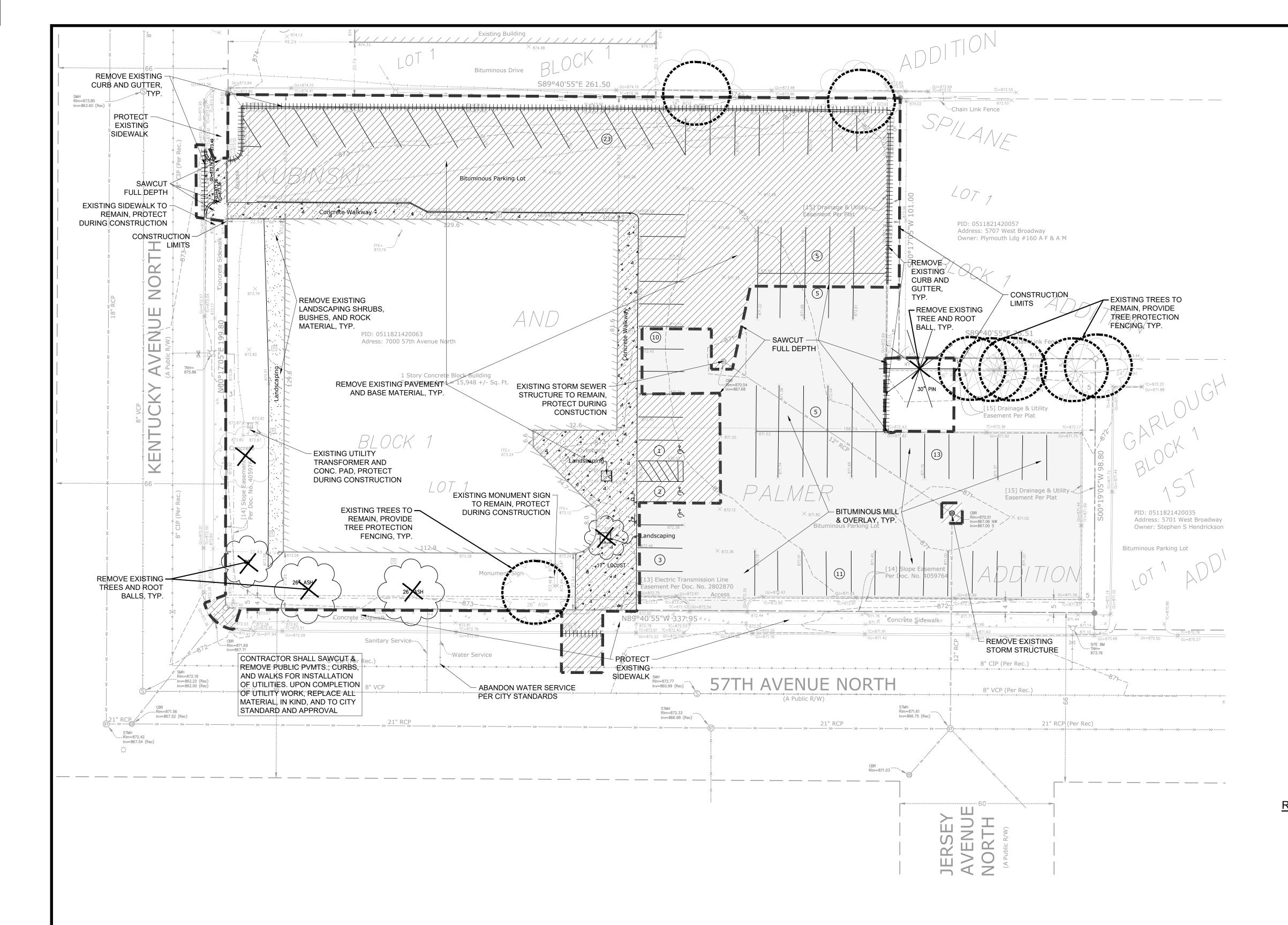
1. RESERVED FOR CITY SPECIFIC UTILITY NOTES.



GROUP Civil Engineering · Surveying · Landscape Architect 5000 Glenwood Avenue Golden Valley, MN 55422 ivilsitegroup.com 612-615-00 NOTFOR ш 1 Ζ Ο N 2 Ο T  $\geq$ Ш Ζ HEREBY CERTIFY THAT THIS PLAN SPECIFICATION, OR REPORT WAS REPARED BY ME OR UNDER MY DIREC SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. Knoeble David J. Knaeble DATE 09/12/2023 LICENSE NO. 48776 ISSUE/SUBMITTAL SUMMARY DATE DESCRIPTION Y SUBMITTAL CT MANAGEF **REVISION SUMMARY** DATE DESCRIPTION PROJECT NOTES

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Know what's **below**. Call before you dig



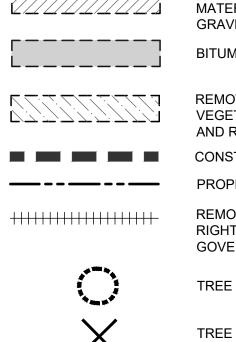
**OWNER INFORMATION** 

NEW HORIZON ACADEMY 3405 ANNAPOLIS LANE N, SUITE 100 PLYMOUTH, MN 55447 HEIDI PROSS 763-383-6216 HPROSS@NHACADEMY.NET

SEE SHEET C0.1 FOR GENERAL REMOVAL NOTES

50	000 Glenwood Ave olden Valley, MN	
NEW HORIZON ACADEMY	7000 57TH AVENUE N, CRYSTAL, MN 55428	NEW HORIZON ACADEMY 3405 ANNAPOLIS LANE N, PLYMOUTH, MN 55477
SPECIF PREPARED SUPERV LICENSE UNDER	Y CERTIFY THA FICATION, OR RE D BY ME OR UND ISION AND THAT D PROFESSION. THE LAWS OF TI MINNESOTA Aurul J Knae <u>2/2023</u> LICENSI	EPORT WAS DER MY DIRECT FI AM A DULY AL ENGINEER HE STATE OF A. ble
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DATE 09/1 ISSUE/	DESC CITY SUBMITTAL	RIPTION

## REMOVALS LEGEND:



REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BIT., CONC., AND GRAVEL PVMTS.

BITUMINOUS MILL AND OVERLAY.

REMOVAL OF TREES AND VEGETATION INCLUDING STUMPS AND ROOT SYSTEMS CONSTRUCTION LIMITS

PROPERTY LINE

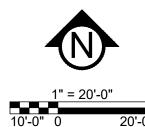
REMOVE CURB AND GUTTER. IF IN RIGHT-OF-WAY, COORDINATE WITH LOCAL GOVERNING UNIT.

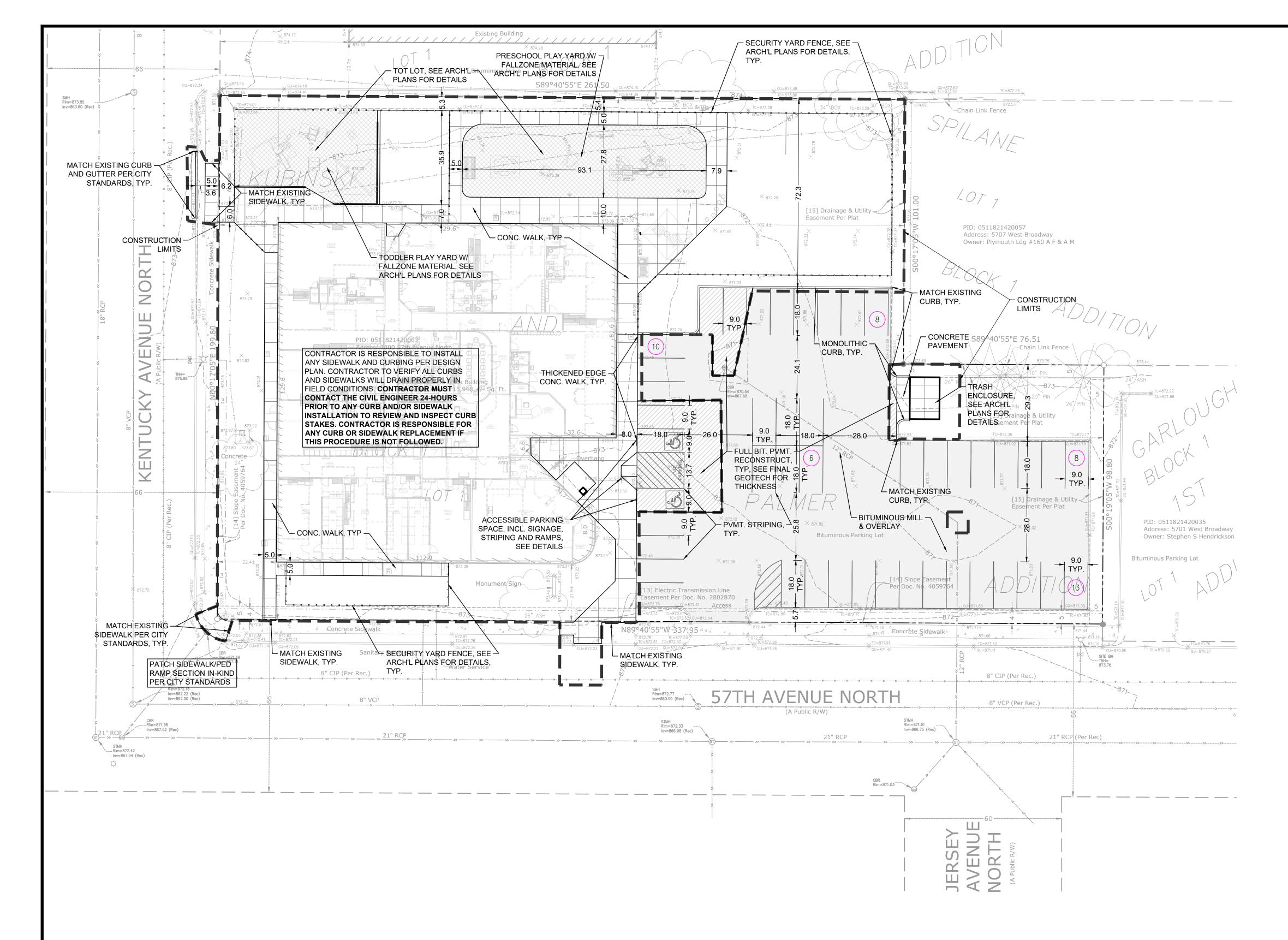
TREE PROTECTION

TREE REMOVAL - INCLUDING ROOTS AND STUMPS



Call before you dig.

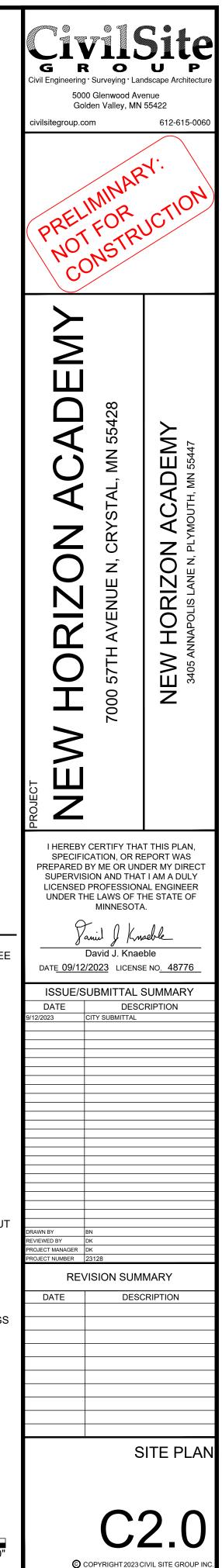




## OWNER INFORMATION

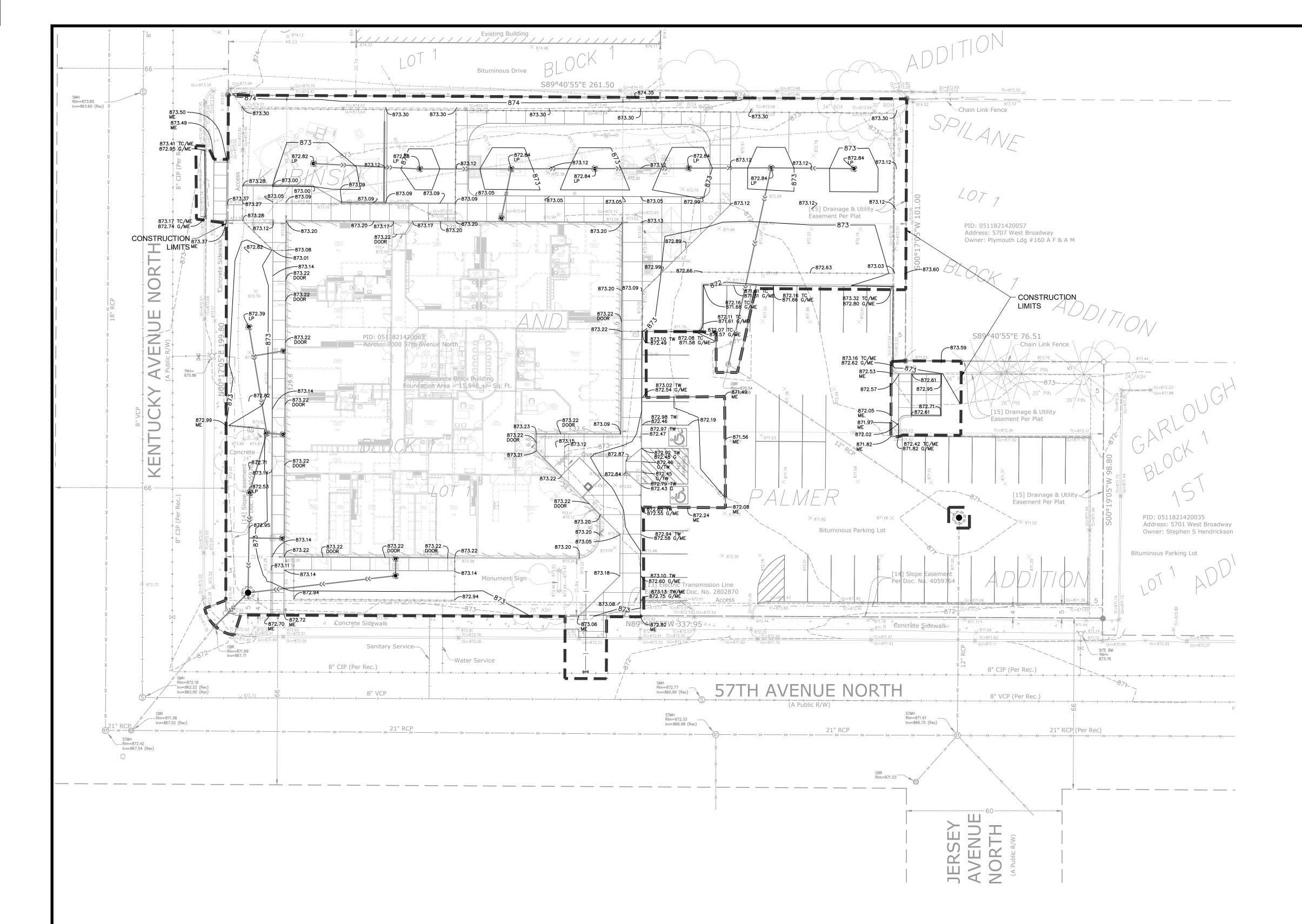
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SEE SHEET C0.1 FOR GENERAL SITE NOTES



## SITE PLAN LEGEND:

BITUMINOUS PAVEMENT (IF APPLICABLE). SEE         GEOTECHNICAL REPORT FOR AGGREGATE         BASE & WEAR COURSE DEPTH, SEE DETAIL.         BITUMINOUS MILL & OVERLAY         P1         FALLZONE MATERIAL - IMPERVIOUS         CONCRETE PAVEMENT (IF APPLICABLE) AS         SPECIFIED (PAD OR WALK) SEE         GEOTECHNICAL REPORT FOR AGGREGATE         BASE & CONCRETE DEPTHS, WITHIN ROW         SEE CITY DETAIL, WITHIN PRIVATE	DATE 09/12	anii J David J. K 2/2023 LIC SUBMITT D CITY SUBMIT
91         FALLZONE MATERIAL - IMPERVIOUS         CONCRETE PAVEMENT (IF APPLICABLE) AS         SPECIFIED (PAD OR WALK) SEE         GEOTECHNICAL REPORT FOR AGGREGATE         BASE & CONCRETE DEPTHS, WITHIN ROW	DATE	D
CONCRETE PAVEMENT (IF APPLICABLE) AS SPECIFIED (PAD OR WALK) SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & CONCRETE DEPTHS, WITHIN ROW		
SPECIFIED (PAD OR WALK) SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & CONCRETE DEPTHS, WITHIN ROW		
PROPERTY SEE CSG DETAIL		
TO GUITER WHERE APPLICABLE-SEE PLAN	RAWN BY EVIEWED BY ROJECT MANAGER	BN DK DK
		<sup>23128</sup> VISION S
SIGN AND POST ASSEMBLY. SHOP DRAWINGS REQUIRED. HC = ACCESSIBLE SIGN NP = NO PARKING FIRE LANE ST = STOP CP = COMPACT CAR PARKING ONLY	DATE	
ACCESSIBILITY ROUTE ARROW (IF APPLICABLE) DO NOT PAINT.		
Know what's below. Call before you dig. 1" = 20'-0" 10'-0" 0 20'-0"		С



SEE SHEET C0.1 FOR GENERAL GRADING NOTES

5000	Glenwood Ave en Valley, MN	
NEW HORIZON ACADEMY	7000 57TH AVENUE N, CRYSTAL, MN 55428	NEW HORIZON ACADEMY 3405 ANNAPOLIS LANE N, PLYMOUTH, MN 55447
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## GRADING PLAN LEGEND:

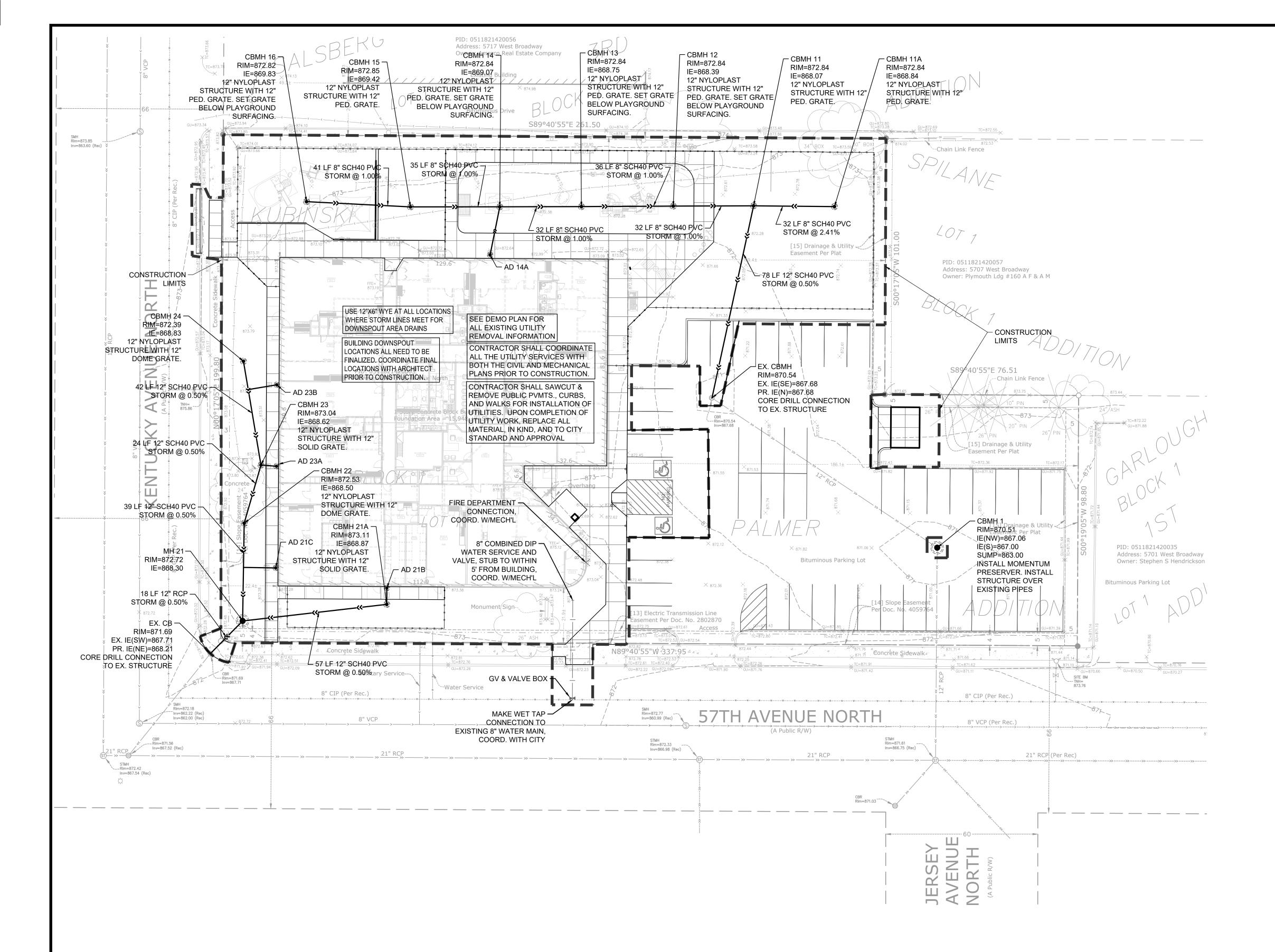
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EX. 1' CONTOUR ELEVATION INTERVAL **1.0' CONTOUR ELEVATION INTERVAL** SPOT GRADE ELEVATION (GUTTER/FLOW LINE UNLESS OTHERWISE NOTED) SPOT GRADE ELEVATION GUTTER SPOT GRADE ELEVATION TOP OF CURB SPOT GRADE ELEVATION BOTTOM OF STAIRS/TOP OF STAIRS SPOT GRADE ELEVATION MATCH EXISTING GRADE BREAK - HIGH POINTS CURB AND GUTTER (T.O = TIP OUT)

10'-0" 0

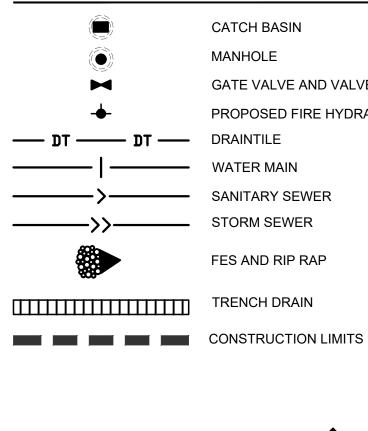
EMERGENCY OVERFLOW





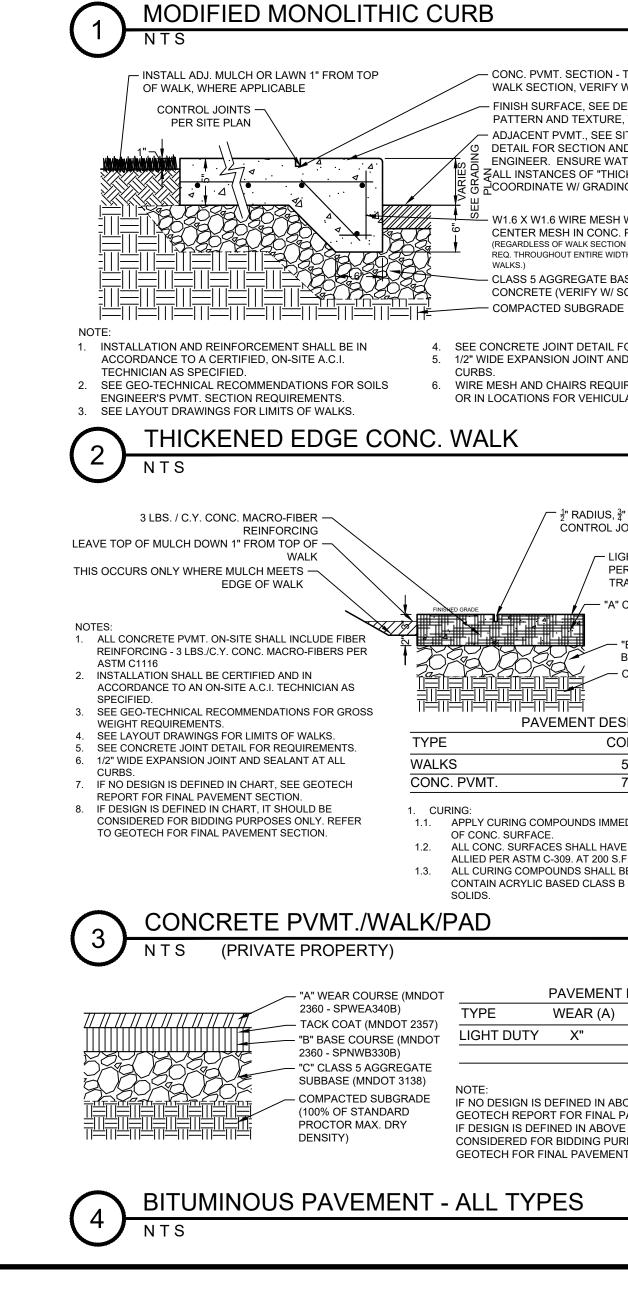
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## UTILITY LEGEND:

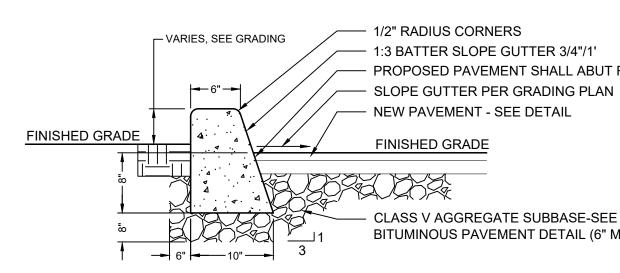


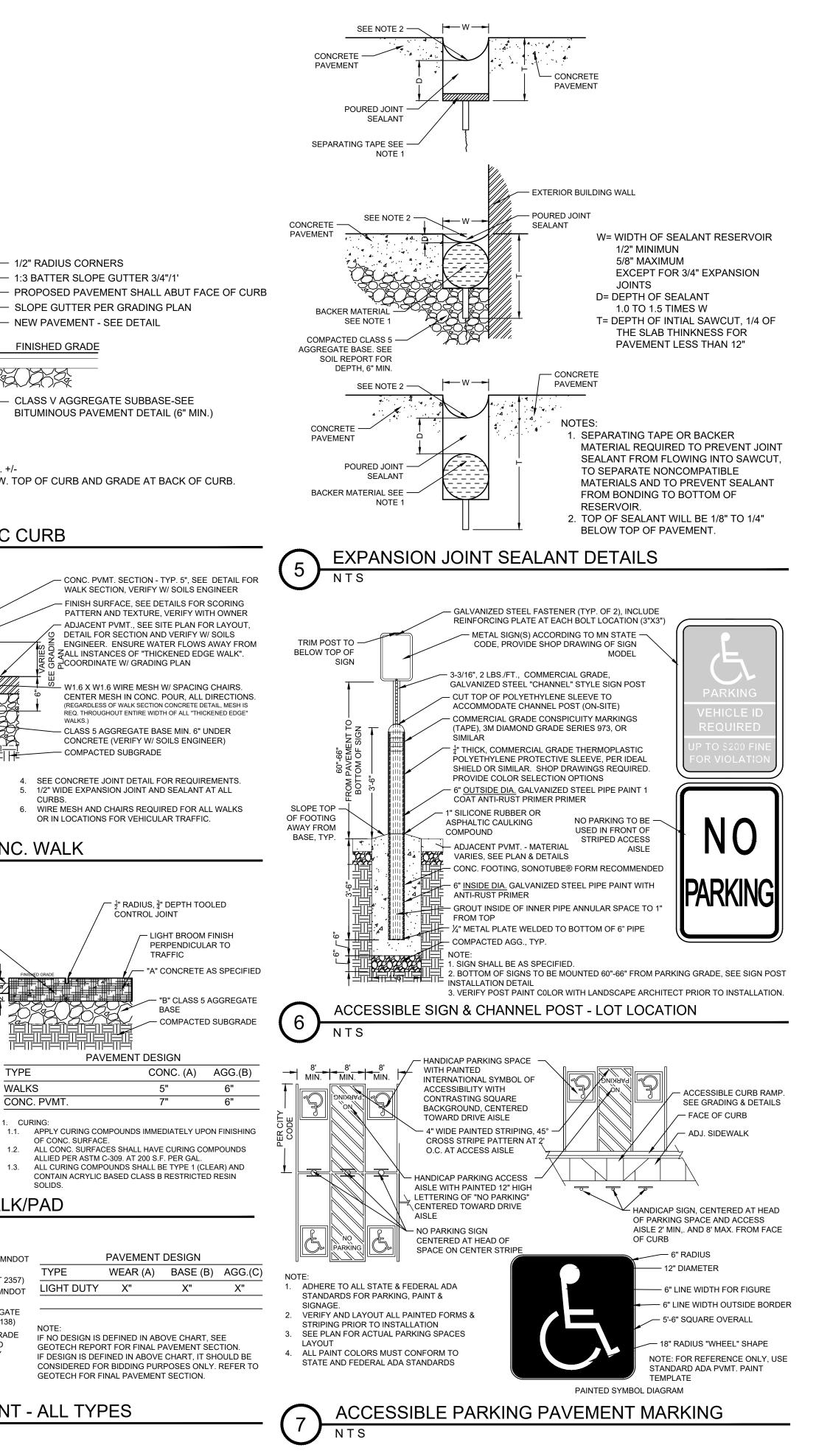
MANHOLE GATE VALVE AND VALVE BOX PROPOSED FIRE HYDRANT WATER MAIN SANITARY SEWER STORM SEWER FES AND RIP RAP





NOTE: 1. INSTALL CONSTRUCTION JOINTS AT 10'-0" O.C. +/-2. SEE GRADING FOR HEIGHT DIFFERENCE BETW. TOP OF CURB AND GRADE AT BACK OF CURB.

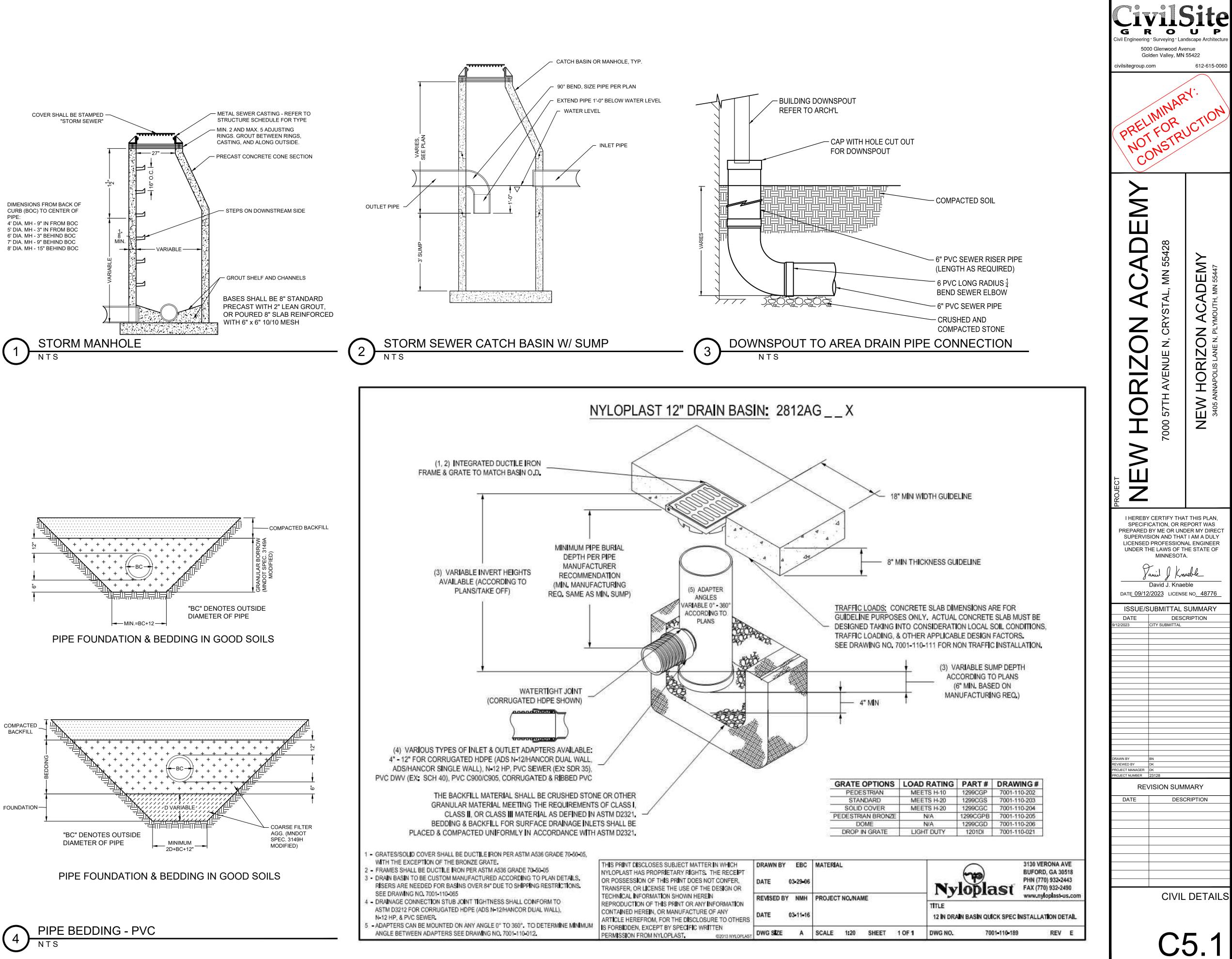


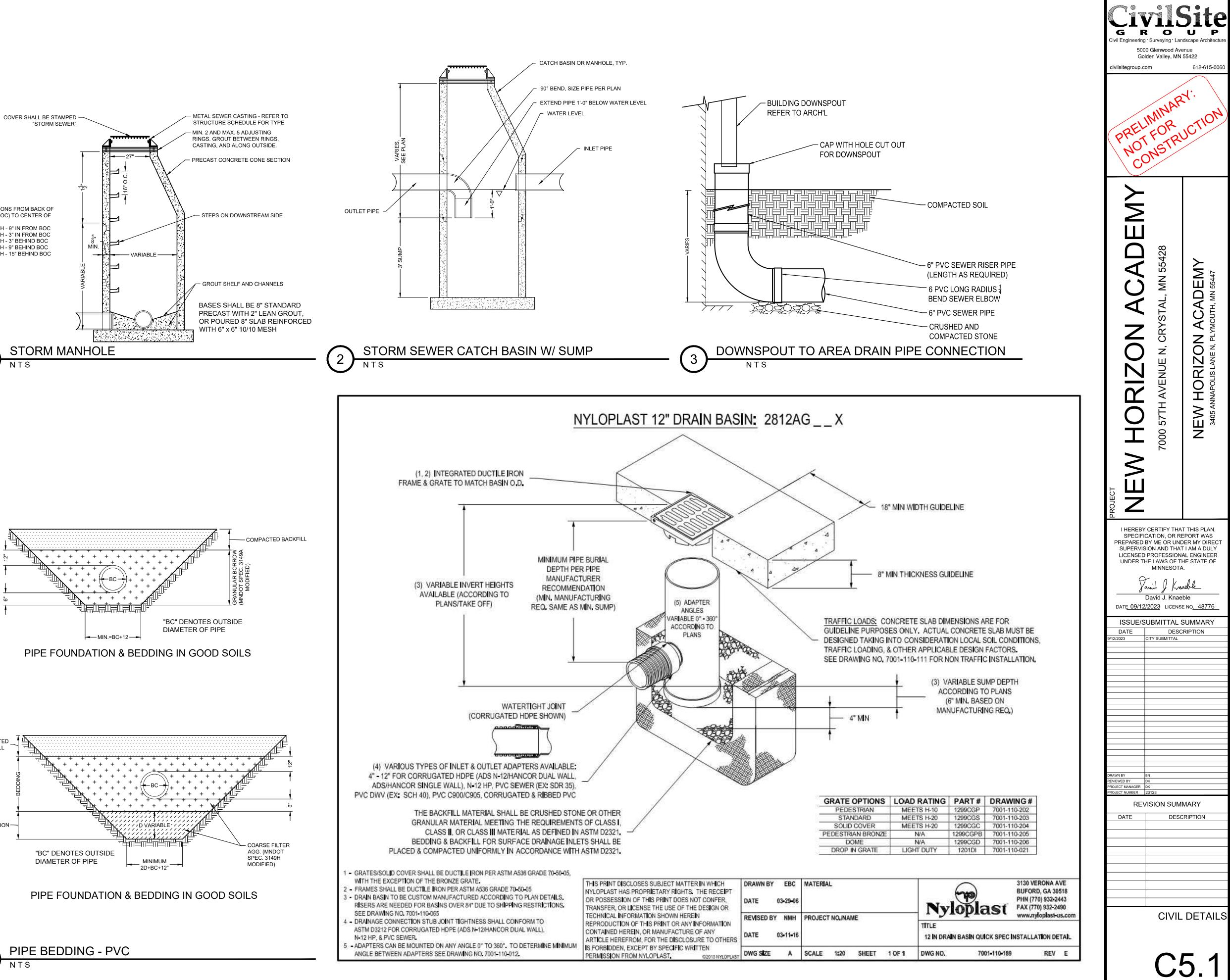


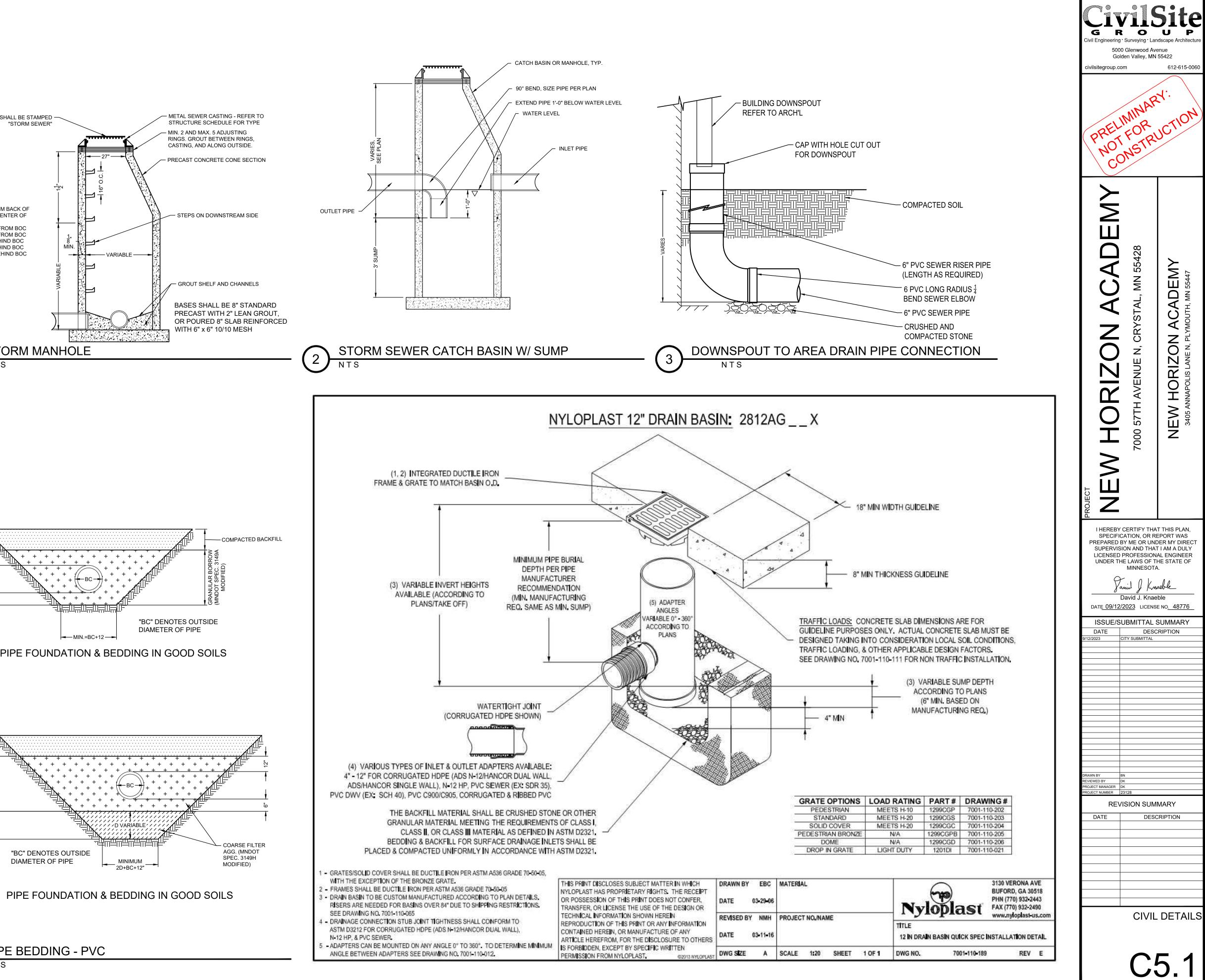
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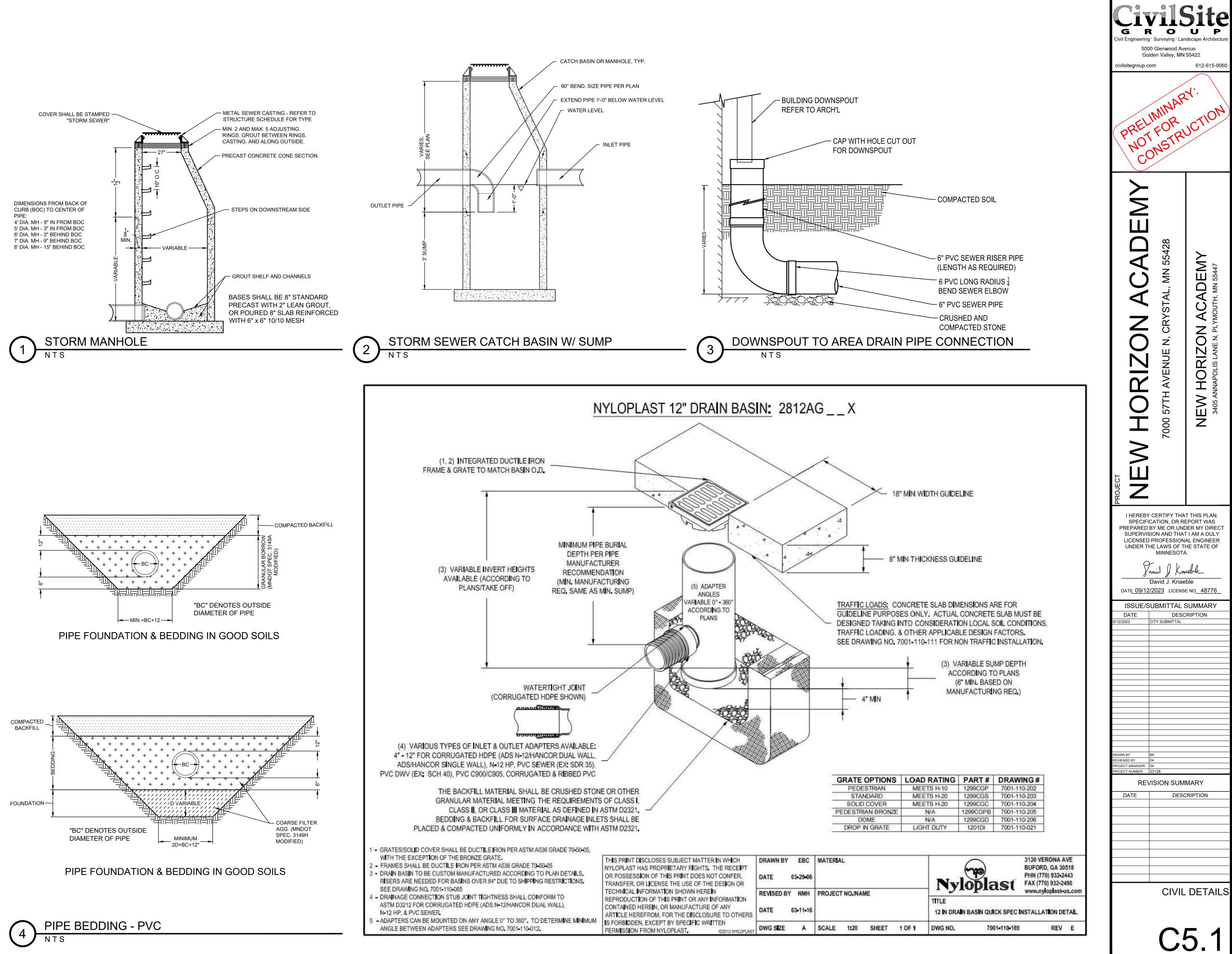
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CONTRACTOR SHALL REVIEW ALL CIVIL AND ARCHITECTURAL DETAILS PRIOR TO WORK. ANY REDUNDANT, CONTRADICTORY OR CONFLICTING INFORMATION PRESENTED IN ANY PLAN OR DETAIL THROUGHOUT THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT AND CIVIL ENGINEER AND RESOLVED PRIOR TO WORK COMMENCING.

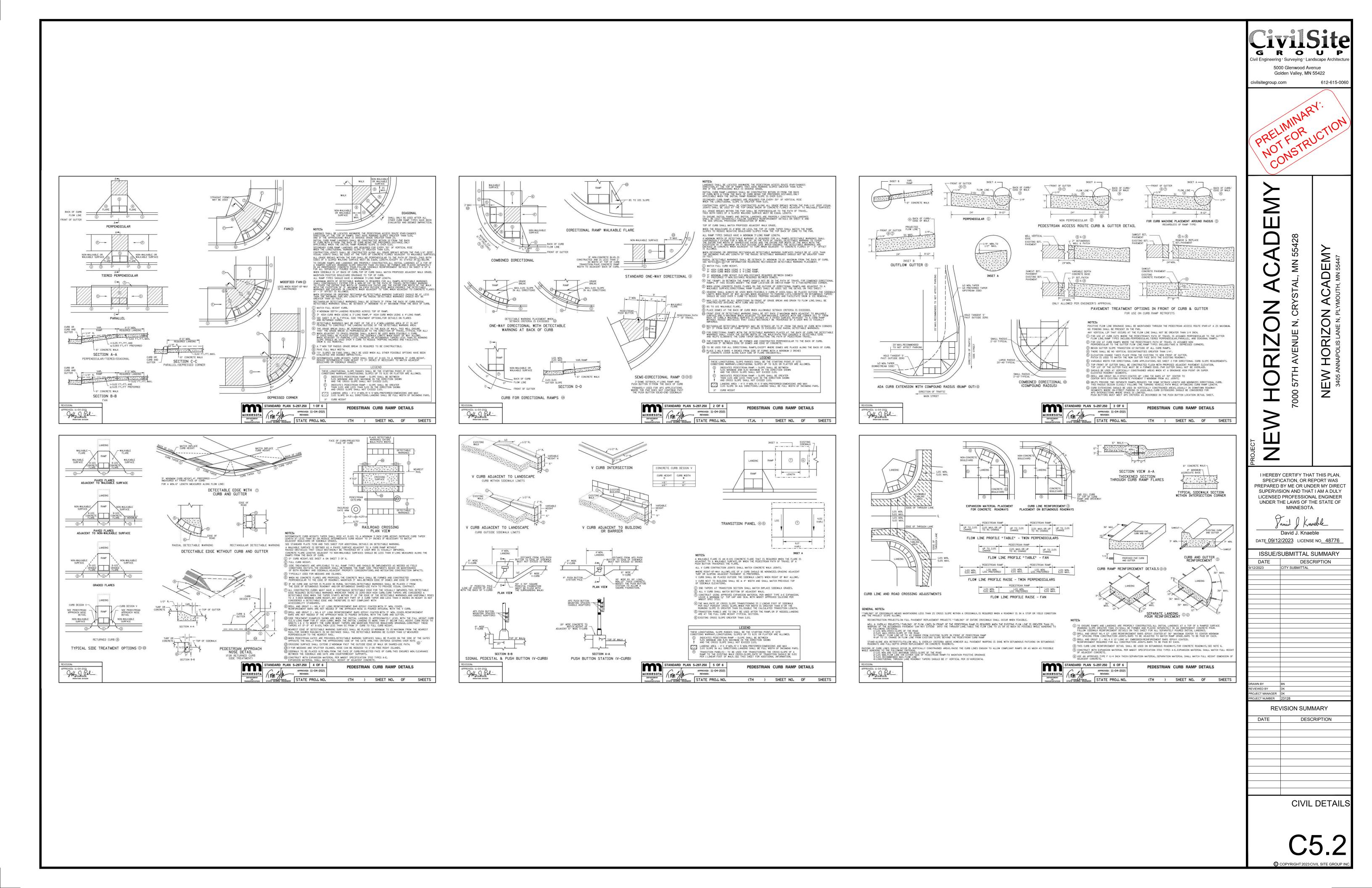


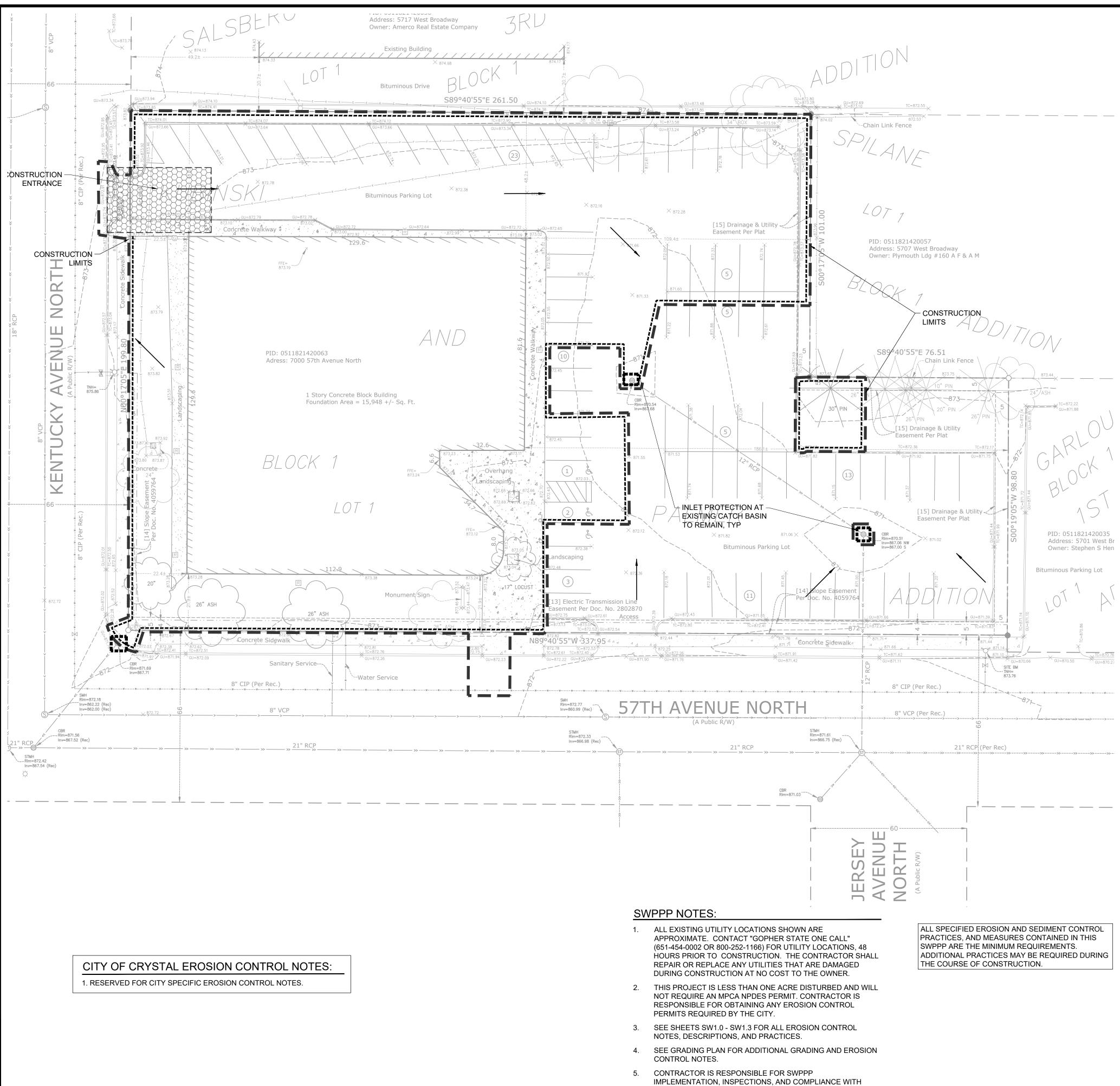






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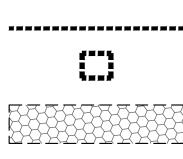


NPDES PERMIT.

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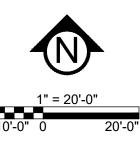


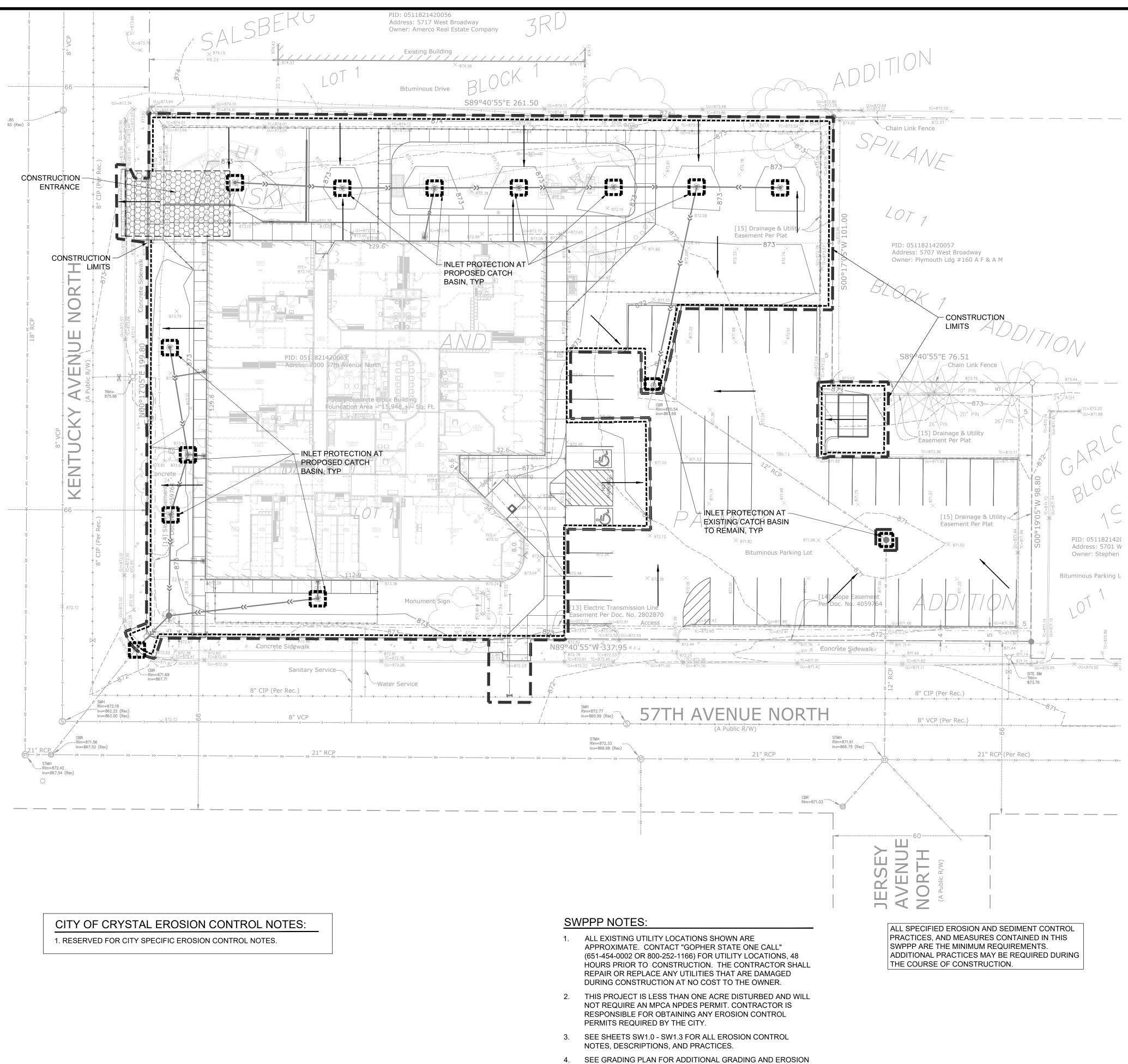
EX. 1' CONTOUR ELEVATION INTERVAL DRAINAGE ARROW

SILT FENCE / BIOROLL - GRADING LIMIT INLET PROTECTION

STABILIZED CONSTRUCTION ENTRANCE







5.

CONTROL NOTES. CONTRACTOR IS RESPONSIBLE FOR SWPPP

IMPLEMENTATION, INSPECTIONS, AND COMPLIANCE WITH NPDES PERMIT.

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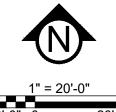
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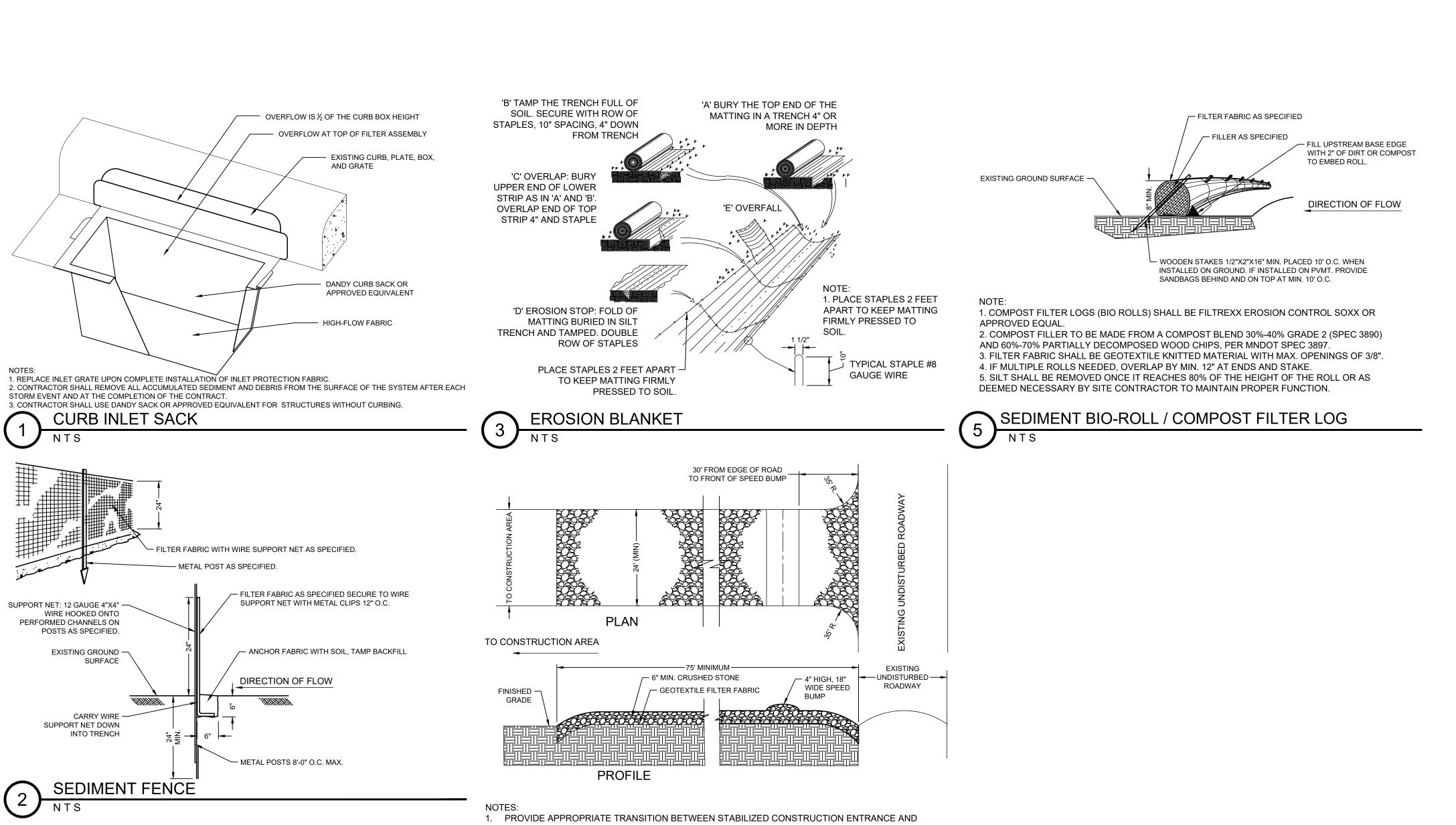
STABILIZED CONSTRUCTION ENTRANCE

EROSION CONTROL BLANKET



Call before you dig.





UNDISTURBED ROADWAY.

2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO UNDISTURBED ROADWAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDING STONE TO THE LENGTH OF THE ENTRANCE. 3. REPAIR AND CLEANOUT MEASURES USED TO TRAP SEDIMENT.

4. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO UNDISTURBED ROADWAY SHALL BE REMOVED AS DIRECTED BY THE ENGINEER.

5. FINAL LOCATION AND INSTALLATION SHALL BE COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.

6. CRUSHED STONE SHALL BE 1-1/2" DIA. CLOSE GRADED, AND IN ACCORDANCE TO MNDOT SECTION 2118.

STABILIZED CONSTRUCTION ACCESS 4 NTS

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THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED WITH A CONSTRUCTION ACTIVITY THAT DISTURBS SITE SOIL OR WHO IMPLEMENT A POLI UTANT CONTROL MEASURE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (DATED AUGUST 1, 2018 # MNR100001) AND ANY LOCAL GOVERNING AGENCY HAVING JURISDICTION CONCERNING EROSION AND SEDIMENTATION CONTROL.

## STORMWATER DISCHARGE DESIGN REQUIREMENTS

## SWPPP

THE NATURE OF THIS PROJECT WILL BE CONSISTENT WITH WHAT IS REPRESENTED IN THIS SET OF CONSTRUCTION PLANS AND SPECIFICATIONS. SEE THE SWPPP PLAN SHEETS AND SWPPP NARRATIVE (ATTACHMENT A: CONSTRUCTION SWPPP TEMPLATE) FOR ADDITIONAL SITE SPECIFIC SWPPP INFORMATION. THE PLANS SHOW LOCATIONS AND TYPES OF ALL TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMP'S. STANDARD DETAILS ARE ATTACHED TO THIS SWPPP DOCUMENT.

- THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES IS AS FOLLOWS:
- 1. INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE 2 INSTALLATION OF SILT FENCE AROUND SITE
- 3. INSTALL ORANGE CONSTRUCTION FENCING AROUND INFILTRATION AREAS
- 4. INSTALL INLET PROTECTION AT ALL ADJACENT AND DOWNSTREAM CATCH BASINS
- 5. CLEAR AND GRUB FOR TEMPORARY SEDIMENT BASIN / POND INSTALL 6. CONSTRUCT TEMPORARY SEDIMENT BASIN / POND (SECTION 14)
- 7. CLEAR AND GRUB REMAINDER OF SITE
- 8. STRIP AND STOCKPILE TOPSOIL 9. ROUGH GRADING OF SITE
- 10. STABILIZE DENUDED AREAS AND STOCKPILES
- 11. INSTALL SANITARY SEWER, WATER MAIN STORM SEWER AND SERVICES
- 12. INSTALL SILT FENCE / INLET PROTECTION AROUND CB'S 13. INSTALL STREET SECTION
- 14. INSTALL CURB AND GUTTER
- 15. BITUMINOUS ON STREETS
- 16. FINAL GRADE BOULEVARD, INSTALL SEED AND MULCH 17. REMOVE ACCUMULATED SEDIMENT FROM BASIN / POND
- 18. FINAL GRADE POND / INFILTRATION BASINS (DO NOT COMPACT SOILS IN INFILTRATION AREAS.)
- 19. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED BY EITHER SEED OR SOD/LANDSCAPING, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.

## **RECORDS RETENTION:**

THE SWPPP (ORIGINAL OR COPIES) INCLUDING, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION BY THE PERMITTEE WHO HAS OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. THE SWPPP CAN BE KEPT IN EITHER THE FIELD OFFICE OR IN AN ON SITE VEHICLE DURING NORMAL WORKING HOURS.

ALL OWNER(S) MUST KEEP THE SWPPP, ALONG WITH THE FOLLOWING ADDITIONAL RECORDS, ON FILE FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOT AS OUTLINED IN SECTION 4. THIS DOES NOT INCLUDE ANY RECORDS AFTER SUBMITTAL OF THE NOT.

- 1 THE FINAL SWPPP
- 2. ANY OTHER STORMWATER RELATED PERMITS REQUIRED FOR THE PROJECT;
- 3. RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION (SEE SECTION 11, INSPECTIONS AND MAINTENANCE): 4. ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED,
- INCLUDING ALL RIGHT OF WAY, CONTRACTS, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE; AND
- 5. ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS.

## SWPPP IMPLEMENTATION RESPONSIBILITIES:

- 1. THE OWNER AND CONTRACTOR ARE PERMITTEE(S) AS IDENTIFIED BY THE NPDES PERMIT.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE IMPLEMENTATION OF THE SWPPP, INCLUDING
- THE ACTIVITIES OF ALL OF THE CONTRACTOR'S SUBCONTRACTORS. 3. CONTRACTOR SHALL PROVIDE A PERSON(S) KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPS TO OVERSEE ALL INSTALLATION AND MAINTENANCE OF BMPS AND IMPLEMENTATION OF THE SWPPF
- 4. CONTRACTOR SHALL PROVIDE PERSON(S) MEETING THE TRAINING REQUIREMENTS OF THE NPDES PERMIT TO CONDUCT INSPECTION AND MAINTENANCE OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPS IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMIT. ONE OF THESE INDIVIDUAL(S) MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY MPCA. CONTRACTOR SHALL PROVIDE TRAINING DOCUMENTATION FOR THESE INDIVIDUAL(S) AS REQUIRED BY THE NPDES PERMIT. THIS TRAINING DOCUMENTATION SHALL BE RECORDED IN OR WITH THE SWPPP BEFORE THE START OF CONSTRUCTION OR AS SOON AS THE PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED. DOCUMENTATION SHALL INCLUDE:
- 4.1. NAMES OF THE PERSONNEL ASSOCIATED WITH THE PROJECT THAT ARE REQUIRED TO BE TRAINED PER SECTION 21 OF THE PERMIT
- 4.2. DATES OF TRAINING AND NAME OF INSTRUCTOR AND ENTITY PROVIDING TRAINING. 4.3 CONTENT OF TRAINING COURSE OR WORKSHOP INCLUDING THE NUMBER OF HOURS OF TRAINING. 5. FOLLOWING FINAL STABILIZATION AND THE TERMINATION OF COVERAGE FOR THE NPDES PERMIT, THE OWNER IS EXPECTED TO FURNISH LONG TERM OPERATION AND MAINTENANCE (O & M) OF THE PERMANENT STORM WATER MANAGEMENT SYSTEM.

## CONSTRUCTION ACTIVITY REQUIREMENTS

SWPPP AMENDMENTS (SECTION 6):

- 1. ONE OF THE INDIVIDUALS DESCRIBED IN ITEM 21.2.A OR ITEM 21.2.B OR ANOTHER QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES, CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS.
- 2. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPS AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER.
- 3. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPS AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES (E.G., NUISANCE CONDITIONS AS DEFINED IN MINN. R. 7050.0210, SUBP. 2) OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDL.

**BMP SELECTION AND INSTALLATION (SECTION 7):** 

1. PERMITTEES MUST SELECT, INSTALL, AND MAINTAIN THE BMPS IDENTIFIED IN THE SWPPP AND IN THIS PERMIT IN AN APPROPRIATE AND FUNCTIONAL MANNER AND IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES.

## **EROSION PREVENTION (SECTION 8):**

- 1. BEFORE WORK BEGINS, PERMITTEES MUST DELINEATE THE LOCATION OF AREAS NOT TO BE DISTURBED. 2. PERMITTEES MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES. WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING).
- 3. PERMITTEES MUST STABILIZE ALL EXPOSED SOIL AREAS, INCLUDING STOCKPILES. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY HAS CEASED. STABILIZATION IS NOT REQUIRED ON CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES. STABILIZATION IS NOT REQUIRED ON TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) BUT PERMITTEES MUST PROVIDE SEDIMENT CONTROLS AT THE BASE OF THE STOCKPILE.
- 4. FOR PUBLIC WATERS THAT THE MINNESOTA DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPAWNING TIME FRAMES, PERMITTEES MUST COMPLETE STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 200 FEET OF THE WATER'S EDGE, AND THAT DRAIN TO THESE WATERS, WITHIN 24 HOURS DURING THE RESTRICTION PERIOD.
- 5. PERMITTEES MUST STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAR FEET OF TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES THAT DRAIN WATER FROM THE SITE WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE. PERMITTEES MUST COMPLETE STABILIZATION OF REMAINING PORTIONS OF TEMPORARY OR PERMANENT DITCHES OR SWALES WITHIN 14 CALENDAR DAYS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE AND CONSTRUCTION IN THAT PORTION OF THE DITCH TEMPORARILY OR PERMANENTLY CEASES.
- 6. TEMPORARY OR PERMANENT DITCHES OR SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION (WITH PROPERLY DESIGNED ROCK-DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. PERMITTEES MUST STABILIZE THESE AREAS WITHIN 24 HOURS AFTER THEIR USE AS A SEDIMENT CONTAINMENT SYSTEM CEASES
- 7. PERMITTEES MUST NOT USE MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION

#### PREVENTION PRACTICES WITHIN ANY PORTION OF THE NORMAL WETTED PERIMETER OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE SECTION WITH A CONTINUOUS SLOPE OF GREATER THAN 2

- PERCENT. 8. PERMITTEES MUST PROVIDE TEMPORARY OR PERMANENT ENERGY DISSIPATION AT ALL PIPE OUTLETS WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR PERMANENT STORMWATER TREATMENT SYSTEM
- 9. PERMITTEES MUST NOT DISTURB MORE LAND (I.E., PHASING) THAN CAN BE EFFECTIVELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH SECTION 11.

## SEDIMENT CONTROL (SECTION 9):

- 1. PERMITTEES MUST ESTABLISH SEDIMENT CONTROL BMPS ON ALL DOWNGRADIENT PERIMETERS OF THE SITE AND DOWNGRADIENT AREAS OF THE SITE THAT DRAIN TO ANY SURFACE WATER, INCLUDING CURB AND GUTTER SYSTEMS. PERMITTEES MUST LOCATE SEDIMENT CONTROL PRACTICES UPGRADIENT OF ANY BUFFER ZONES. PERMITTEES MUST INSTALL SEDIMENT CONTROL PRACTICES BEFORE ANY UPGRADIENT LAND-DISTURBING ACTIVITIES BEGIN AND MUST KEEP THE SEDIMENT CONTROL PRACTICES IN PLACE UNTIL THEY ESTABLISH PERMANENT COVER.
- 2. IF DOWNGRADIENT SEDIMENT CONTROLS ARE OVERLOADED, BASED ON FREQUENT FAILURE OR EXCESSIVE MAINTENANCE REQUIREMENTS, PERMITTEES MUST INSTALL ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPS TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN ITEM 6.3.
- 3. TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK-CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS.
- 4. A FLOATING SILT CURTAIN PLACED IN THE WATER IS NOT A SEDIMENT CONTROL BMP TO SATISFY ITEM 9.2 EXCEPT WHEN WORKING ON A SHORELINE OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY (E.G., INSTALLATION OF RIP RAP ALONG THE SHORELINE) IN THAT AREA IS COMPLETE, PERMITTEES MUST INSTALL AN UPLAND PERIMETER CONTROL PRACTICE IF EXPOSED SOILS STILL DRAIN TO A SURFACE WATER.
- 5. PERMITTEES MUST RE-INSTALL ALL SEDIMENT CONTROL PRACTICES ADJUSTED OR REMOVED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES, IMMEDIATELY AFTER THE SHORT-TERM ACTIVITY IS COMPLETED. PERMITTEES MUST RE-INSTALL SEDIMENT CONTROL PRACTICES BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE
- 6. PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMPS DURING CONSTRUCTION UNTIL THEY ESTABLISH PERMANENT COVER ON ALL AREAS WITH POTENTIAL FOR DISCHARGING TO THE INI ET
- 7. PERMITTEES MAY REMOVE INLET PROTECTION FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (E.G. STREET FLOODING/FREEZING) IS IDENTIFIED BY THE PERMITTEES OR THE JURISDICTIONAL AUTHORITY (E.G., CITY/COUNTY/TOWNSHIP/MINNESOTA DEPARTMENT OF TRANSPORTATION ENGINEER). PERMITTEES MUST DOCUMENT THE NEED FOR REMOVAL IN THE SWPPP. 8. PERMITTEES MUST PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AT THE BASE OF
- STOCKPILES ON THE DOWNGRADIENT PERIMETER. 9. PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL BUFFERS OR SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER. 10. PERMITTEES MUST INSTALL A VEHICLE TRACKING BMP TO MINIMIZE THE TRACK OUT OF SEDIMENT FROM
- THE CONSTRUCTION SITE OR ONTO PAVED ROADS WITHIN THE SITE. 11. PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMPS ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING ONTO THE STREET.
- 12. PERMITTEES MUST INSTALL TEMPORARY SEDIMENT BASINS AS REQUIRED IN SECTION 14. 13. IN ANY AREAS OF THE SITE WHERE FINAL VEGETATIVE STABILIZATION WILL OCCUR, PERMITTEES MUST RESTRICT VEHICLE AND EQUIPMENT USE TO MINIMIZE SOIL COMPACTION.
- 14. PERMITTEES MUST PRESERVE TOPSOIL ON THE SITE, UNLESS INFEASIBLE. 15. PERMITTEES MUST DIRECT DISCHARGES FROM BMPS TO VEGETATED AREAS UNLESS INFEASIBLE 16. PERMITTEES MUST PRESERVE A 50 FOOT NATURAL BUFFER OR, IF A BUFFER IS INFEASIBLE ON THE SITE, PROVIDE REDUNDANT (DOUBLE) PERIMETER SEDIMENT CONTROLS WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECT'S EARTH DISTURBANCES AND STORMWATER FLOWS TO THE SURFACE WATER. PERMITTEES MUST INSTALL PERIMETER SEDIMENT CONTROLS AT LEAST 5 FEET APART UNLESS LIMITED BY LACK OF AVAILABLE SPACE. NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS. IF PRESERVING THE BUFFER IS INFEASIBLE, PERMITTEES MUST
- DOCUMENT THE REASONS IN THE SWPPP. SHEET PILING IS A REDUNDANT PERIMETER CONTROL IF INSTALLED IN A MANNER THAT RETAINS ALL STORMWATER. 17. PERMITTEES MUST USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR SUPPLIER. THE PERMITTEES MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION AND MUST DIRECT TREATED STORMWATER TO A SEDIMENT CONTROL SYSTEM FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.

DEWATERING AND BASIN DRAINING (SECTION 10):

- 1. PERMITTEES MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENT BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. PERMITTEES MAY DEWATER TO SURFACE WATERS IF THEY VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF PERMITTEES CANNOT DISCHARGE THE WATER TO A SEDIMENTATION BASIN PRIOR TO ENTERING A SURFACE WATER, PERMITTEES MUST TREAT IT WITH APPROPRIATE BMPS SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE SURFACE WATER OR DOWNSTREAM PROPERTIES.
- 2. IF PERMITTEES MUST DISCHARGE WATER CONTAINING OIL OR GREASE, THEY MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENTS PADS) PRIOR TO DISCHARGE
- 3. PERMITTEES MUST DISCHARGE ALL WATER FROM DEWATERING OR BASIN-DRAINING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE EROSION OR SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS OR INUNDATION OF WETLANDS IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS THAT CAUSES SIGNIFICANT ADVERSE IMPACT TO THE WETLAND.
- 4. IF PERMITTEES USE FILTERS WITH BACKWASH WATER. THEY MUST HAUL THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION.

INSPECTIONS AND MAINTENANCE (SECTION 11):

- 1. PERMITTEES MUST ENSURE A TRAINED PERSON, AS IDENTIFIED IN ITEM 21.2.B, WILL INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN
- 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/2 INCH IN 24 HOURS. 2. PERMITTEES MUST INSPECT AND MAINTAIN ALL PERMANENT STORMWATER TREATMENT BMPS. 3. PERMITTEES MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPS AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL NONFUNCTIONAL BMPS WITH FUNCTIONAL BMPS BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY UNLESS ANOTHER TIME FRAME IS SPECIFIED IN ITEM 11.5 OR
- 11.6. PERMITTEES MAY TAKE ADDITIONAL TIME IF FIELD CONDITIONS PREVENT ACCESS TO THE AREA. 4. DURING EACH INSPECTION, PERMITTEES MUST INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS BUT NOT CURB AND GUTTER SYSTEMS, FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. PERMITTEES MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. PERMITTEES MUST COMPLETE REMOVAL AND STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. PERMITTEES MUST USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF OBTAINING ACCESS. PERMITTEES ARE RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND
- RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS. 5. PERMITTEES MUST INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS, STREETS AND CURB AND GUTTER SYSTEMS WITHIN AND ADJACENT TO THE PROJECT FOR SEDIMENTATION FROM EROSION OR TRACKED SEDIMENT FROM VEHICLES. PERMITTEES MUST REMOVE SEDIMENT FROM ALL PAVED SURFACES WITHIN ONE (1) CALENDAR DAY OF DISCOVERY OR, IF APPLICABLE, WITHIN A SHORTER TIME TO AVOID A SAFETY HAZARD TO USERS OF PUBLIC STREETS.
- 6. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE. 7. PERMITTEES MUST DRAIN TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE THE
- SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME 8. PERMITTEES MUST ENSURE THAT AT LEAST ONE INDIVIDUAL PRESENT ON THE SITE (OR AVAILABLE TO
- THE PROJECT SITE IN THREE (3) CALENDAR DAYS) IS TRAINED IN THE JOB DUTIES DESCRIBED IN ITEM 21.2 B
- 9. PERMITTEES MAY ADJUST THE INSPECTION SCHEDULE DESCRIBED IN ITEM 11.2 AS FOLLOWS: a. INSPECTIONS OF AREAS WITH PERMANENT COVER CAN BE REDUCED TO ONCE PER MONTH, EVEN IF
- CONSTRUCTION ACTIVITY CONTINUES ON OTHER PORTIONS OF THE SITE; OR b. WHERE SITES HAVE PERMANENT COVER ON ALL EXPOSED SOIL AND NO CONSTRUCTION ACTIVITY IS OCCURRING ANYWHERE ON THE SITE, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH AND, AFTER 12 MONTHS, MAY BE SUSPENDED COMPLETELY UNTIL CONSTRUCTION ACTIVITY RESUMES. THE
- MPCA MAY REQUIRE INSPECTIONS TO RESUME IF CONDITIONS WARRANT; OR c. WHERE CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, INSPECTIONS MAY BE SUSPENDED. INSPECTIONS MUST RESUME WITHIN 24 HOURS OF RUNOFF OCCURRING, OR UPON RESUMING CONSTRUCTION, WHICHEVER COMES FIRST.
- 10. PERMITTEES MUST RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES WITHIN 24 HOURS OF BEING CONDUCTED AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP. THESE RECORDS MUST
- INCLUDE
- a. DATE AND TIME OF INSPECTIONS; AND

c. ACCURATE FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED; AND d. CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE

- ACTIVITIES); AND e. DATE OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCHES IN 24 HOURS, AND THE AMOUNT OF RAINFALL FOR EACH EVENT. PERMITTEES MUST OBTAIN RAINFALL AMOUNTS BY EITHER A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ONSITE, A WEATHER STATION THAT IS WITHIN ONE (1) MILE OF YOUR LOCATION, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARIES; AND
- f. IF PERMITTEES OBSERVE A DISCHARGE DURING THE INSPECTION, THEY MUST RECORD AND SHOULD PHOTOGRAPH AND DESCRIBE THE LOCATION OF THE DISCHARGE (I.E., COLOR, ODOR, SETTLED OR SUSPENDED SOLIDS, OIL SHEEN, AND OTHER OBVIOUS INDICATORS OF POLLUTANTS); AND
- g. ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED IN SECTION 6 WITHIN SEVEN (7) CALENDAR DAYS.

POLLUTION PREVENTION MANAGEMENT (SECTION 12):

- 1. PERMITTEES MUST PLACE BUILDING PRODUCTS AND LANDSCAPE MATERIALS UNDER COVER (E.G. PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. PERMITTEES ARE NOT REQUIRED TO COVER OR PROTECT PRODUCTS WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED TO STORMWATER.
- 2. PERMITTEES MUST PLACE PESTICIDES, FERTILIZERS AND TREATMENT CHEMICALS UNDER COVER (E.G. PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
- 3. PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, (INCLUDING OIL, DIESEL FUEL GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE. 4. PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN.
- R. CH. 7035. 5. PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER. PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041.
- 6. PERMITTEES MUST TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED INCLUDING THE USE OF DRIP PANS OR ABSORBENTS UNLESS INFEASIBLE, PERMITTEES MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. PERMITTEES MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. 115.061, USING DRY CLEAN UP MEASURES WHERE POSSIBLE.
- 7 PERMITTEES MUST LIMIT VEHICLE EXTERIOR WASHING AND EQUIPMENT TO A DEFINED AREA OF THE SITE PERMITTEES MUST CONTAIN RUNOFF FROM THE WASHING AREA IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND MUST DISPOSE WASTE FROM THE WASHING ACTIVITY PROPERLY. PERMITTEES MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS.
- 8. PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. PERMITTEES MUST PROPERLY DISPOSE LIQUID AND SOLID WASTES IN COMPLIANCE WITH MPCA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY.

## PERMIT TERMINATION (SECTION 4 AND SECTION 13):

- 1. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ALL TERMINATION CONDITIONS LISTED IN SECTION 13 ARE COMPLETE.
- 2. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE, INCLUDING PERMIT RESPONSIBILITY FOR ROADS (E.G., STREET SWEEPING) AND STORMWATER INFRASTRUCTURE FINAL CLEAN OUT, OR TRANSFERRING PORTIONS OF A SITE TO ANOTHER PARTY. THE PERMITTEES' COVERAGE UNDER THIS PERMIT TERMINATES AT MIDNIGHT ON THE SUBMISSION DATE OF THE NOT.
- 3. PERMITTEES MUST COMPLETE ALL CONSTRUCTION ACTIVITY AND MUST INSTALL PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOT. VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR THE BASE OF A SAND FILTER.
- 4. PERMITTEES MUST CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEM OF ANY ACCUMULATED SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS IN SECTION 15
- THROUGH 19 AND IS OPERATING AS DESIGNED. 5. PERMITTEES MUST REMOVE ALL SEDIMENT FROM CONVEYANCE SYSTEMS PRIOR TO SUBMITTING THE
- 6. PERMITTEES MUST REMOVE ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPS PRIOR TO SUBMITTING THE NOT. PERMITTEES MAY LEAVE BMPS DESIGNED TO DECOMPOSE ON-SITE IN PLACE.
- 7. FOR RESIDENTIAL CONSTRUCTION ONLY, PERMIT COVERAGE TERMINATES ON INDIVIDUAL LOTS IF THE STRUCTURES ARE FINISHED AND TEMPORARY EROSION PREVENTION AND DOWNGRADIENT PERIMETER CONTROL IS COMPLETE, THE RESIDENCE SELLS TO THE HOMEOWNER, AND THE PERMITTEE DISTRIBUTES THE MPCA'S "HOMEOWNER FACT SHEET" TO THE HOMEOWNER.
- 8. FOR CONSTRUCTION PROJECTS ON AGRICULTURAL LAND (E.G., PIPELINES ACROSS CROPLAND), PERMITTEES MUST RETURN THE DISTURBED LAND TO ITS PRECONSTRUCTION AGRICULTURAL USE PRIOR TO SUBMITTING THE NOT

## SEED NOTES:

ALL SEED MIXES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MNDOT SEEDING MANUAL

## GENERAL RECOMMENDATIONS:

THE CONTRACTOR IS RESPONSIBLE TO SALVAGE AND PRESERVE EXISTING TOPSOIL NECESSARY FOR FINAL STABILIZATION AND TO ALSO MINIMIZE COMPACTION IN ALL LANDSCAPE AREAS. IMMEDIATELY BEFORE SEEDING THE SOIL SHALL BE TILLED TO A MINIMUM DEPTH OF 3 INCHES.

TEMPORARY EROSION CONTROL SEEDING, MULCHING & BLANKET.

 TEMPORARY SEED SHALL BE MNDOT SEED MIX 21-112 (WINTER WHEAT COVER CROP) FOR WINTER AND 21-111 (OATS COVER CROP) FOR SPRING/SUMMER APPLICATIONS. BOTH SEED MIXES SHALL BE APPLIED AT A SEEDING RATE OF 100 LBS/ACRE.

## MULCH

 IMMEDIATELY AFTER SEEDING, WITHIN 24 HOURS, MNDOT TYPE 1 MULCH SHOULD BE APPLIED TO PROTECT AND ENHANCE SEED GERMINATION. MULCH SHALL BE APPLIED AT 90% COVERAGE (2 TONS PER ACRE OF STRAW MULCH)

## SLOPES

- 3:1 (HORIZ/VERT.) OR FLATTER MUCH SHALL BE COVERED WITH MULCH
- SLOPES STEEPER THAN 3:1 OR DITCH BOTTOMS SHALL BE COVERED WITH EROSION CONTROL BLANKET. SEE PLAN FOR MORE DETAILED DITCH AND STEEP SLOPE EROSION CONTROL TREATMENTS

## **TRAINING SECTION 21**

DESIGN ENGINEER: DAVID J. KNAEBLE P.E. TRAINING COURSE: DESIGN OF SWPPP TRAINING ENTITY: UNIVERSITY OF MINNESOTA **INSTRUCTOR: JOHN CHAPMAN** DATES OF TRAINING COURSE: 8/22/2012- 8/23/2012 TOTAL TRAINING HOURS: 12 DATE OF RECERTIFICATION: 4/22/22 EXPIRATION: 5/31/2025

## AREAS AND QUANTITIES

SITE AREA CALCULATIONS						
	EXISTING CO	NDITION	P	ROPOSED CO	NDITION	
IMPERVIOUS SURFACES						
BUILDING COVERAGE	15,948 SF	26.7%		16,129 SF	27.0%	
PAVEMENT	32,819 SF	54.9%		27,541 SF	46.1%	
TOTAL	48,767 SF	81.5%	1.1 AC	43,670 SF	73.0%	1.0 AC
PERVIOUS SURFACES						
TOTAL	11,037 SF	18.5%	0.3 AC	16,134 SF	27.0%	0.4 AC
TOTAL SITE AREA	59,804 SF	100.0%	1.4 AC	59,804 SF	100.0%	1.4 AC
DIFFERENCE (EX. VS PROP.)	-5,097 SF	-8.5%				
<b>BITUMINOUS MILL &amp; OVERLAY</b>	14,431 SF		0.3 AC			
DISTURBED AREA	27,544 SF		0.6 AC			
EROSION CONTROL QUANTITIES						
DISTURBED AREA	27,544 SF					

SILT FENCE/BIO-ROLL ±1100 LF EROSION CONTROL BLANKET 0 SF INLET PROTECTION DEVICES ±14 EA NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION.

SWPPP CONTACT PERSON CONTRACTOR

# REQUIREMENTS.

SWPPP PACKAGE:

ATTACHMENT A. CONSTRUCTION SWPPP TEMPLATE - SITE SPECIFIC SWPPP DOCUMENT ATTACHMENT B. CONSTRUCTION STORMWATER INSPECTION CHECKLIST ATTACHMENT C. MAINTENANCE PLAN FOR PERMANENT STORM WATER TREATMENT SYSTEMS ATTACHMENT D: STORMWATER MANAGEMENT REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER. AVAILABLE UPON REQUEST. ATTACHMENT E: GEOTECHNICAL EVALUATION REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER. AVAILABLE UPON REQUEST.

## SUPPLEMENTARY SITE SPECIFIC EROSION CONTROL NOTES: THESE NOTES SUPERCEDE ANY GENERAL SWPPP NOTES

THIS PROJECT IS LESS THAN 1.0 ACRE DISTURBED SO AN NPDES PERMIT IS NOT REQUIRED AND DOES NOT NEED TO BE SUBMITTED TO THE MPCA. THE CONTRACTOR IS REQUIRED TO FOLLOW THE GUIDELINES IN THE NPDES PERMIT THROUGHOUT CONSTRUCTION.

## PROJECT NARRATIVE:

PROJECT IS A SITE REDEVELOPMENT OF AN EXISTING BUILDING INTO A DAYCARE. SITE, GRADING, UTILITY AND LANDSCAPE IMPROVEMENTS WILL OCCUR.

## NATIVE BUFFER NARRATIVE:

PRESERVING A 50 FOOT NATURAL BUFFER AROUND WATER BODIES IS NOT PROVIDED IN THESE PLANS.

## INFILTRATION NARRATIVE:

INFILTRATION IS NOT PROVIDED AS PART OF THE PROJECTS PERMANENT STORM WATER MANAGEMENT SYSTEM.

## SOIL CONTAMINATION NARRATIVE:

SOILS ONSITE HAVE BEEN IDENTIFIED AS CONTAMINATED.

## SPECIAL TMDL BMP REQUIREMENTS SITE SPECIFIC (IF REQUIRED):

THIS PROJECT IS WITHIN ONE MILE AND DISCHARGES TO MEADOW LAKE - MEADOW LAKE IS IDENTIFIED AS AN IMPAIRED WATER BODY PER THE MPCA'S 303(D) IMPAIRED WATERS LIST. MEADOW LAKE IS IMPAIRED FOR NUTRIENTS. BECAUSE THIS WATER BODY IS LOCATED WITHIN ONE MILE OF THE SITE, BMPS AS DEFINED IN THE NPDES PERMIT ITEMS 23.9 AND 23.10 APPLY. THESE ARE AS FOLLOWS:

1. DURING CONSTRUCTION: TIME

## OWNER INFORMATION

NEW HORIZON ACADEMY 3405 ANNAPOLIS LANE N, SUITE 100 PLYMOUTH, MN 55447 HEIDI PROSS 763-383-6216 HPROSS@NHACADEMY.NET

SWPPP INSPECTOR TRAINING: ALL SWPPP INSPECTIONS MUST BE PERFORMED BY A PERSON THAT MEETS THE TRAINING REQUIREMENTS OF THE NPDES CONSTRUCTION SITE PERMIT. TRAINING CREDENTIALS SHALL BE PROVIDED BY THE CONTRACTOR AND KEPT ON SITE WITH THE SWPPP

## PARTY RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORM WATER MANAGEMENT SYSTEM

PERMANENT STORMWATER MANAGEMENT IS NOT REQUIRED AS PART OF THIS PROJECT TO MEET NPDES PERMIT

## SWPPP ATTACHMENTS (ONLY APPLICABLE IF SITE IS 1 ACRE OR GREATER)

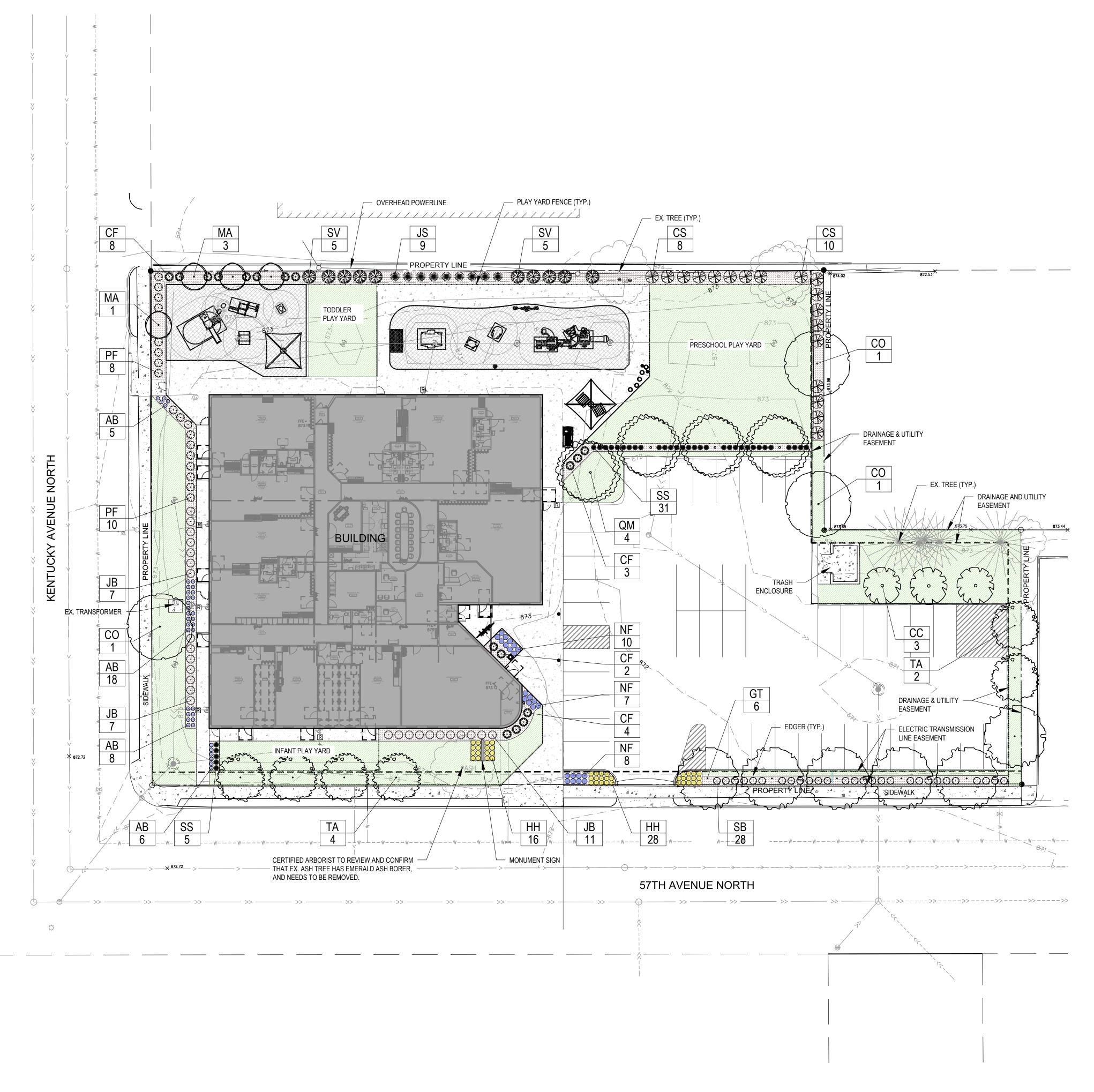
CONTRACTOR SHALL OBTAIN A COPY OF THE FOLLOWING SWPPP ATTACHMENTS WHICH ARE A PART OF THE OVERALI

A. STABILIZATION OF ALL EXPOSED SOIL AREAS MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION BUT IN NO CASE COMPLETED LATER THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. B. TEMPORARY SEDIMENT BASIN REQUIREMENTS DESCRIBED IN SECTION 14. MUST BE USED FOR

COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH FIVE (5) OR MORE ACRES DISTURBED AT ONE

500	0 Glenwood Ave Iden Valley, MN	
NEW HORIZON ACADEMY	7000 57TH AVENUE N, CRYSTAL, MN 55428	NEW HORIZON ACADEMY 3405 ANNAPOLIS LANE N, PLYMOUTH, MN 55447
SPECIFIC PREPARED SUPERVIS LICENSED UNDER TH	SION AND THAT PROFESSION HE LAWS OF TI MINNESOTA Juni J Knae /2023 LICENSI	EPORT WAS DER MY DIRECT F I AM A DULY AL ENGINEER HE STATE OF A. ble E NO <u>. 48776</u>
REVIEWED BY PROJECT MANAGER	BN DK DK 23128	
RE\ DATE	/ISION SUM	

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QTY	CODE	SCIENTIFIC NAME/COMMON NAME	SIZE	ROOT	REMARKS
		(NOTE: ALL TREES TO HAVE STRAIGHT TRI	UNK & SIN	GLE LEA	ADER)
		SHADE TREES			
3	СО	CELTIS OCCIDENTALIS	2.5" cal.	BB	SPACE 30' O.C.
		HACKBERRY			
6	GT	GLEDITSIA TRIACANTHOS 'DRAVES'	2" CAL	BB	SPACE 25' O.C.
		STREET KEEPER HONEYLOCUST			
6	TA	TILIA AMERICANA 'MCKSENTRY	2.5" cal.	BB	SPACE 20' O.C.
		AMERICAN SENTRY LINDEN			
4	QM	QUERCUS MACROCARPA 'JFS-KW3'	2" CAL	BB	SPACE 25' O.C.
		URBAN PINNACLE OAK			
		UNDERSTORY TREES			
4	MA	MALUS 'ADIRONDACK'	2" CAL	BB	SPACE 15' O.C.
		ADIRONDACK CRABAPPLE			
3	СС	CRATAEGUS CRUS-GALLI VAR. INERMIS	2" CAL	BB	SPACE 18' O.C.
		THORNLESS HAWTHORN			
		UPRIGHT EVERGREEN			
9	JS	JUNIPERUS SCOPULORUM 'MEDORA'	#7	CONT.	SPACE 4' O.C.
		MEDORA JUNIPER			
		SHRUBS (24" MIN. SHRUB SIZE AT TIME	OF INSTA	LLATIO	N)
18	CS	CORNUS SERICEA 'BAILEYI'	#5		SPACE 6' O.C.
		RED TWIG DOGWOOD			
17	CF	CORNUS SERICEA 'FIREDANCE'	#5	CONT.	SPACE 4' o.c.
		FIREDANCE REDTWIG DOGWOOD			
25	JB	JUNIPERUS SABINA 'BROADMOOR'	#5	CONT.	SPACE 4' O.C.
		BROADMOOR JUNIPER			
18	PF	POTENTILLA FRUTICOSA 'GOLDFINGER'	#5	CONT.	SPACE 4' O.C.
		GOLDFINGER POTENTILLA			
28	SB	SPIREA BETULIFOLIA 'TOR'	#5	CONT.	SPACE 3.5' O.C.
		TOR SPIREA			
10	SV	SYRINGA VULGARIS 'KRASAVITSA MOSKVY'	#5	CONT.	SPACE 6' O.C.
		BEUTY OF MOSCOW LILAC			
		PERENNIALS			
37	AB	AMSONIA × 'BLUE ICE'	#1	CONT.	SPACE 2' O.C.
	-	BLUE STAR AMSONIA			
44	НН	HEMEROCALLIS 'HAPPY RETURNS'	#1	CONT.	SPACE 2' O.C.
		HAPPY RETURNS DAYLILY			
25	NF	NEPETA FAASSENII 'WALKER'S LOW'	#1	CONT.	SPACE 2.25' O.C.
		WALKER'S LOW CATMINT			
36	SS	SCHIZACHRIUM SCOPARIUM ' MINNBLUE A'	#1	CONT.	SPACE 2.25' O.C.
		BLUE HEAVEN LITTLE BLUESTEM			

NOTES:

KEY

LOT FRONTAGE: 538 LF PARKING LOT AREA: 16,381 SF

LANDSCAPIN 1 DECIDUOUS FRONTAGE. AVE. SIDE, LI

PROVIDE SHF PUBLIC STRE PARKING LO PROVIDE INT PARKING LOT OF LOT, TO I THE CALC. O PROVIDE MIN STREET

TREE SPECIE MAX. % OF A NOTE:

1. VERIFY THAT TREES AND SHRUBS CAN BE PLANTED IN THE DRAINAGE AND UTILITY EASEMENT, AND IN THE ELECTRIC TRANSMISSION LINE EASEMENT NOTED ON SURVEY.

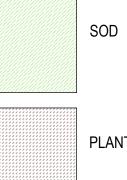
# PLANT SCHEDULE

SEE SHEET L2 FOR PLANTING DETAILS & LANDSCAPE SPECIFICATIONS.

ALL LANDSCAPING TO BE IRRIGATED. SEE SHEET L2 FOR IRRIGATION SPECS.

CERTIFIED ARBORIST TO REVIEW AND REPORT ON HEALTH OF EX. TREES, AND PRUNE AS NEEDED TO MAINTAIN SITE SAFETY.

4. PLANTING BEDS TO HAVE GOOD QUALITY LOOSE SOIL, SEE SHEET L2 FOR TREES, SHRUBS, & PERENNIALS SPECS.



PLANTING BEDS - SHREDDED HARDWOOD MULCH

# LANDSCAPE REQUIREMENTS

ZONING: C - COMMERCIAL DISTRICT

ING REQUIREMENTS	UNIT	REQUIRED	ON THIS PLAN
US OVERSTORY TREE FOR EVERY 30 LF OF LOT NOTE: EX. AND PROPOSED UTILITIES ON KENTUCKY LIMITS ABILITY TO MEET REQUIREMENTS.	EA.	18	10
HRUBS ALONG BUILDING FOUNDATION VISIBLE FROM REETS.			
OT LANDSCAPING			
ITERIOR PARKING LOT LANDSCAPING EQUAL TO 10% OF DT AREA. NOTE: THE GREENSPACE IN THE NE CORNER D INSIDE EDGE OF DRAINAGE EASEMENT, IS INCLUDED IN OF WHAT IS PROVIDED.	SF	1,638	1,879
IN. 36" HT. SHRUBS BETWEEN PARKING LOT AND			
A SINGLE SPECIES OF TREES TO BE 35% OF 18	EA.	6 OR LESS	6 OR LESS



RYLAUR, LLC 14 PHEASANT LANE NORTH OAKS, MN 55127 P: 612.868.3636 philger@rylaur.com © 2023 RYLAUR, LLC

**PROJECT INFORMATION: NEW HORIZON ACADEMY** 7000 57th AVENUE NORTH CRYSTAL, MN 55428

**CLIENT INFORMATION:** 

NEW HORIZON ACADEMY 3405 ANNAPOLIS LANE N. PLYMOUTH, MN 55447

LANDSCAPE ARCHITECT: Carmen Simonet Design LLC 354 Stonebridge Blvd. St. Paul, MN 55105 (651) 695-0273 carmen@simonetdesign.com

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota. Name: Carmen Simonet

License # 24236

Signature: \_ Carmon Semony Date September 12, 2023

Drawing Date: 09.12.2023

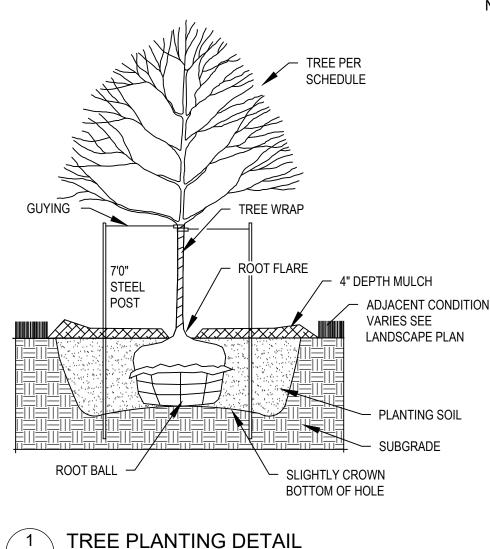
Drawing History/Revisions:

Project Architect:

A. PETER HILGER, AIA

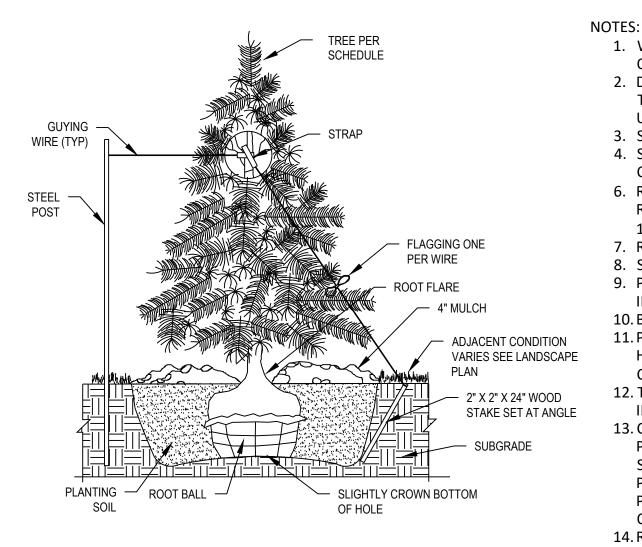


# PLANTING DETAILS



NOT TO SCALE

\L2 /

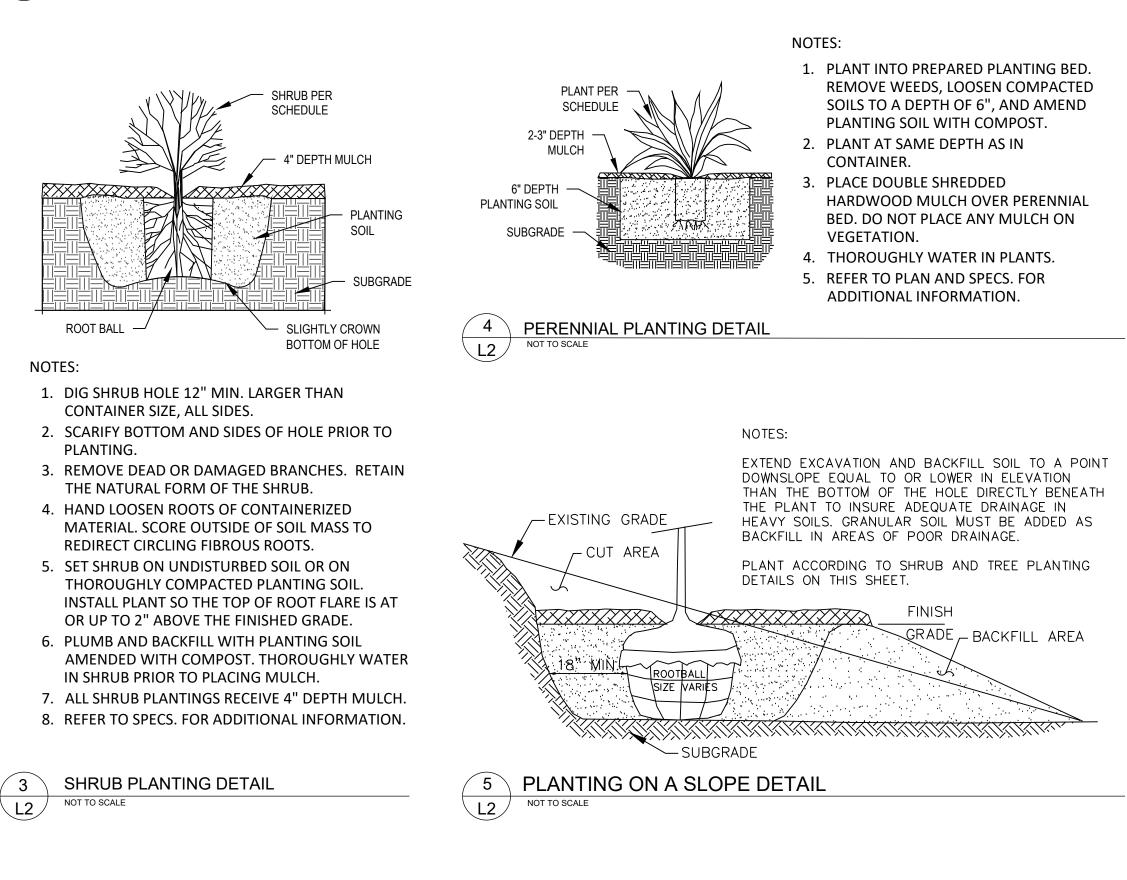


2 EVERGREEN TREE PLANTING DETAIL L2 NOT TO SCALE



1. REMOVE DEAD OR DAMAGED BRANCHES. RETAIN THE NATURAL FORM OF THE TREE. DO NOT CUT THE LEADER.

- WIDTH OF PLANTING HOLES: 18" MIN. LARGER THAN ROOT BALL, ON ALL SIDES.
   DEPTH OF HOLE: DOOT FLADE TO SIT AT OR UP TO 2" ADOVE THE
- DEPTH OF HOLE: ROOT FLARE TO SIT AT, OR UP TO 2" ABOVE THE TOP OF THE FINISHED SOIL ELEVATION. LEAVE SOIL UNDISTURBED BENEATH THE ROOT BALL.
- SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
   SET PLANT ON UNDISTURBED SOIL OR THOROUGHLY COMPACTED PLANTING SOIL.
- REMOVE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP FROM TOP 1/3 OF ROOT BALL. REMOVE ALL TWINE.
- 7. REMOVE OR CORRECT STEM GIRDLING ROOTS
- SLIT REMAINING BURLAP AT 6" INTERVALS.
   PLUMB & BACKFILL WITH PLANTING SOIL AMENDED WITH COMPOST. THOROUGHLY WATER IN TREE WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
- 10. BACKFILL VOIDS AND WATER A SECOND TIME. 11. PLACE 4" MULCH WITHIN 48 HOURS OF THE SECOND WATERING.
- NO MULCH TO BE IN CONTACT W/ TRUNK. 12. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD. IF
- NEEDED, STAKE TREES USING 16" LONG, 1.5" WIDE STRAPS, AND ATTACH TO POST WITH WIRE. INSTALL POST 3' INTO GROUND. REMOVE WITHIN ONE YEAR.
- 13. WRAP TRUNK IN FALL REMOVE IN SPRING. 14. REFER TO SPECS. FOR ADDITIONAL INFORMATION
  - WIDTH OF PLANTING HOLE: 18" MIN. LARGER THAN ROOT BALL, ON ALL SIDES.
  - DEPTH OF HOLE: ROOT FLARE TO SIT AT OR UP TO 2" ABOVE THE TOP OF THE FINISHED SOIL ELEVATION. LEAVE SOIL UNDISTURBED BENEATH THE ROOT BALL.
  - SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
     SET PLANT ON UNDISTURBED SOIL OR THOROUGHLY
  - COMPACTED PLANTING SOIL.
    6. REMOVE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP FROM TOP 1/3 OF ROOT BALL. REMOVE ALL TWINE.
  - REMOVE OR CORRECT STEM GIRDLING ROOTS OR REJECT PLANT.
     SLIT REMAINING BURLAP AT 6" INTERVALS.
  - 9. PLUMB & BACKFILL WITH PLANTING SOIL. THOROUGHLY WATER IN TREE WITHIN 2 HOURS TO SETTLE PLANT AND FILL VOIDS.
  - 10. BACKFILL VOIDS AND WATER A SECOND TIME.
    11. PLACE DOUBLE SHREDDED HARDWOOD MULCH WITHIN 48 HOURS OF THE SECOND WATERING. NO MULCH TO BE IN CONTACT W/ TRUNK OR BRANCHES.
  - 12. TWO ALTERNATE METHODS OF STAKING TREES ARE ILLUSTRATED IN DETAIL.
  - 13. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD. STAKE TREES IF SITE CONDITIONS, SUCH AS SOIL AND WIND, PREVENT THE TREES FROM STAYING PLUMB. USE 16" X 1.5" POLYPROPYLENE OR POLYETHYLENE STRAPS, ATTACH TO POST OR STAKE WITH 10 GAUGE WIRE. REMOVE WITHIN ONE YEAR.
     14. REFER TO PLAN AND SPECE. FOR ADDITIONAL INFORMATION.
  - 14. REFER TO PLAN AND SPECS. FOR ADDITIONAL INFORMATION.



# LANDSCAPE SPECIFICATIONS

## TREES, SHRUBS, AND PERENNIALS

## 1. REFERENCES

- A. MnDOT Minnesota Department of Transportation, Standard Specifications for Construction, 2020 Edition.
- B. American Standard for Nursery Stock, ANSI Z60.1-2014.
- C. ASTM, American Society for Testing and Materials.

## 2. QUALITY ASSURANCE

- A. Work shall be performed by a landscape contractor with extensive horticulture knowledge, and a min. of 3 years of experience.
- B. Handle plants in such a way as to protect from damage either physical or by exposure to sun and wind. Mishandled plants are subject to rejection by Landscape Architect.
- C. Plants used on this project shall meet the grading standards recommended by the ANSI Z60.1-2014.

## 3. PRODUCTS

- A. Plants: Provide as specified on Plant Schedule.
- B. Edging: Heavy duty poly edger: 5" depth w/ v-lip to prevent frost heave, and steel stakes, black color, Sure-loc Elite-Edge or equal.
- C. Mulch: Double shredded hardwood mulch.
- D. Water: Contractor to provide.
- E. Planting Soil: rich friable, loam topsoil, free of debris and seeds, conforming to MnDOT 3877.2, Loam Topsoil Borrow.
- F. Compost: Conforming to MnDOT 3890.2, Grade 2.
- G. Tree Wrap: Two-ply weather resistant paper product.
- 4. PLANTING DATES: Spring Planting: Apr. 1 June 15. These dates may be extended if daytime temps. remain below 80 degrees. Fall: Sept. 30 Oct. 30th. Daytime temps. need to drop below 80 degrees before planting begins, and may continue until freeze up. Coniferous trees Aug. 15 Oct. 1st. Plant under favorable weather conditions, do not plant during days of extreme heat.

## 5. EXECUTION

- A. Prior to digging, Contractor to have utilities located.B. Contractor to notify Owner and Landscape Architect 3 days in advance of when planting work will occur.
- C. Plant into prepared planting beds.
- D. Install trees, shrubs, and perennials per planting details, adjust location if in conflict with utilities. Verify new location with Landscape Architect prior to planting.
- E. Separate all shrub and perennial beds from sod areas with edger.
- F. Clean-up entire site following planting operations.

## 6. ACCEPTANCE OF PLANTING WORK

- A. Contractor to notify Owner when planting work is complete for review and punch list.
- B. Contractor to water and maintain the trees, shrubs, and perennials until Owner Acceptance.
- C. Owner will give Acceptance of Work following satisfactory correction of punch list items.
- D. Watering and regular landscape maintenance of trees, shrubs, and perennials will be Owners responsibility following acceptance of work.

## 7. GUARANTEE PERIOD

- A. Contractor to warranty trees, shrubs and perennials for one year following acceptance of Work by Owner.
- B. Contractor to maintain the trees in a plumb position throughout the guarantee period.
- C. Contractor to remove all staking/wiring/ straps and plant tags from trees at the end of the guarantee period.
- D. Replacements: At the end of the guarantee period, all plants which are unhealthy, dead, not having a normal density, size, shape or color shall be shall be replaced. Replacements shall match caliper and/or height of the other plants at time of replacement. Selection of replacement material and installation practices shall follow the requirements of the Drawings and Specifications.

## SODDING

## 1. AREAS TO SOD

- A. Sod areas as shown on plan
- 2. REFERENCES

A. MnDOT - Minnesota Department of Transportation, Standard Specifications for Construction, 2020 Edition.

## 3. PRODUCTS

A. Sod: Provide drought tolerant, strongly rooted sod, machine cut to pad thickness of 1", excluding top growth and thatch. Sod to be at least 2 years old, free of weeds, disease, or other material which might be detrimental to the development of the sod. Sod to be moist when cut and maintained in moist condition during transportation and storage at the site. Do not use sod that shows signs of visible heating on this project.

- B. Fertilizer: Slow release 5-10-5 starter fertilizer.
- C. Water: Contractor to provide.

D. Topsoil: provide rich friable, sandy loam, free of debris and seeds, and conforming to MnDOT 3877.2 Common Topsoil Borrow.

## 4. SOIL PREPARATION

A. Verify all sod areas have a minimum of 4" of topsoil.B. Immediately prior to sodding, loosen topsoil to minimum depth of 3".

C. On slopes operate cultivating equipment at right angles to the direction of surface drainage.

D. Contractor to work all areas to receive sod until the soil is smooth and an even grade is established. Fill all holes, depressions and rivulets to ensure an even grade and that proper elevation is established. Fill material shall be compacted sufficiently to provide uniform density and to resist erosion. Remove all rubble, sticks, branches, stones and other extraneous material over 1/2" in diameter on the surface prior to sodding.
E. For all areas to be sodded work in dry, free flowing slow release starter fertilizer into the top 1 inch of soil.

## 5. EXECUTION

A. Install sod during favorable weather, do not sod if ground is frozen or sod is dormant.

B. Lay sod with tightly fitting joints, no overlapping joints, and stagger rows to offset joints. Anchor sod on slopes to prevent slippage.

C. Thoroughly water sod immediately after installing. Continue watering at frequency necessary to initiate rooting, and until the work is accepted by Owner.

D. Clean up and remove all debris resulting from sodding activity and dispose of properly. Restore all areas disturbed by sodding operation to their original condition.

## 6. ACCEPTANCE OF SOD WORK

A. Contractor to notify Owner when sod work is complete for review and punch list.

B. Owner to accept work following satisfactory correction of punch list items.

C. Contractor will maintain all turf areas in a healthy, growing condition by watering, mowing, and any other maintenance necessary to establish the lawn, for a minimum of 30 days from time of acceptance.

D. Any sod that does not show definite growth and establishment during the 30 days from time of acceptance, shall be replaced and established at the proper season by the Contractor at Contractor's expense.

## IRRIGATION

## DESCRIPTION

- A. Work includes: design, furnish, and install complete, fully automatic and programmable underground irrigation system, capable of alternate date watering for all landscape areas. The system shall provide full coverage with uniform levels of total precipitation throughout all irrigated areas.
- B. The system is to include water efficient technologies including: a WaterSense labeled controller, a flow meter, soil moisture and/or evapotranspiration (ET) sensors, a rain sensor, and be calibrated to meet all applicable City Codes.C. Dripline to be used in perennial and shrub beds not covered by lawn
- sprinklers. D. The system is to meet state department of health standards and have a
- backflow preventer.E. Materials, equipment, and methods of design and installation shall comply with, but not be limited to, the following codes and standards:
- All local and state laws and ordinances, and with all the established codes applicable thereto.
- National Electrical Code.
- American Society for Testing and Materials (ASTM).
- National Sanitation Foundation (NSF).
- The best management practices developed by the Irrigation Association.
- F. The designer shall provide balanced pressure and flow and optimum operating efficiency.
- G. The contractor is responsible for obtaining all permits and licenses required for installation of irrigation system.
- QUALITY ASSURANCE
- A. The irrigation system shall be designed and installed by a contractor specializing in irrigation work, and will have a minimum of 5 years of experience designing and installing systems of similar scope and size.
- B. The contractor shall maintain a skilled foreman on site during the installation of all work and the foreman will have a Minnesota Power Limited Technician License.
- SUBMITTALS
- A. Shop Drawings: submit irrigation plan, product schedule, and specifications for review and acceptance.
- B. Operation and Maintenance Manual: following completion of work, provide the Owner with an operation and maintenance manual of the complete system in a digital pdf file format and one hard copy.
- C. As-Built Plan: following completion of work, contractor to furnish Owner a scaled as-built irrigation map, with dimensions as needed, on durable paper or laminated to be mounted on wall with the main control panel and a digital file in pdf format. The map shall indicate the zones, location of all controls, piping and depths, heads (including type), drip-lines, valves, connection to water service, and other related components.
- PRODUCTS

4.

- A. Select products suitable to the landscape areas.
- B. All products and materials used in the system shall be new and professional grade.
- C. Provide sprinkler heads, driplines, electric valves, and automatic controller from one manufacturer: Toro, Rainbird, Hunter Industries, or equal.
   EXECUTION
- EXECUTION
- A. Prior to digging, contractor to have utilities located.
- B. Water Coverage: Provide uniform water coverage over turf areas and planting beds.
- C. Turf: Turf areas to be irrigated with spray heads. Locate heads to avoid overspray onto sidewalks, parking areas, signs and buildings.
- D. Planting Beds: All continuous shrubs, trees, perennial beds to be irrigated with a drip system and spray heads where drip lines are impractical.
- E. Winterization: System to accommodate winterization by blowing system dry with compressed air.
- F. Install the irrigation system per contractor's plan and specifications.
- G. Instructions: Contractor to instruct the Owner in proper operation and maintenance of the system.
- H. Cleanup: Replace landscaping disturbed by operations. Cleanup all debris and restore site to original condition.
- REVIEW AND ACCEPTANCE
- A. Contractor to test system to a hydrostatic pressure of not less than 100 psi. Remove and replace any components that do not pass test.
- B. Contractor to contact Owner and perform operational test after system is fully in place and demonstrate to the Owner that the irrigation system meets coverage requirements and that automatic controls function properly. Any corrective work identified shall be completed within two weeks of receipt of comments.
- C. Owner to accept work following: satisfactory completion of any corrective work, receiving hands-on instructions for operation, and receiving as-built plan and operation and maintenance manual submittals.
   MAINTENANCE
- MAINTENANCE

7.

8.

- A. Contractor to drain and winterize irrigation system in the fall, following first year of operation, and shall put the system back in service the following spring as part of the work of this contract at no additional cost to the Owner.
   GUARANTEE
- A. Warranty irrigation system materials and labor for one year following acceptance of work by Owner. Contractor to promptly furnish and install, at no cost to Owner, any parts that prove defective in material or workmanship.

CRYLAUR croste + solve + advise

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PROJECT INFORMATION: NEW HORIZON ACADEMY 7000 57th AVENUE NORTH CRYSTAL, MN 55428

CLIENT INFORMATION: NEW HORIZON ACADEMY 3405 ANNAPOLIS LANE N. PLYMOUTH, MN 55447

LANDSCAPE ARCHITECT: Carmen Simonet Design LLC 354 Stonebridge Blvd. St. Paul, MN 55105 (651) 695-0273

carmen@simonetdesign.com

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota. Name: Carmen Simonet

License # 24236

Signature: \_\_\_\_\_\_ Signature:

Date September 12, 2023

Drawing Date:

09.12.2023

Drawing History/Revisions:

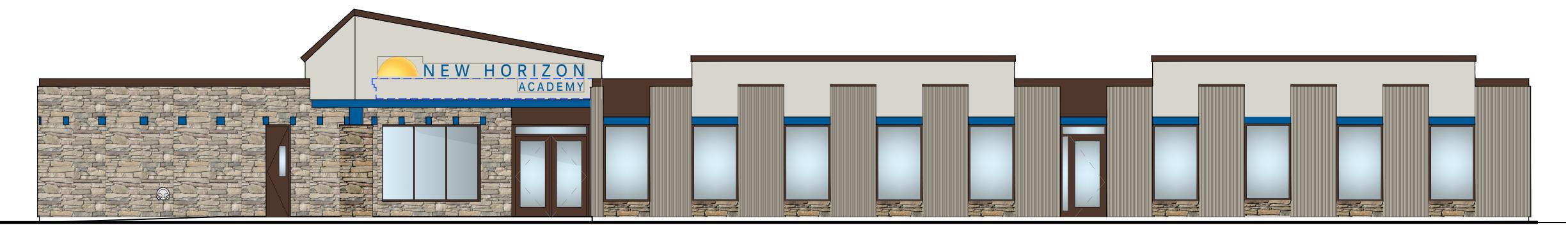
Project Architect:

A. PETER HILGER, AIA

SHEET TITLE: LANDSCAPE DETAILS & NOTES

Sheet No.

L2



	SHEE	T INDEX	
Archit	ectural Sheets	Site L	ighting Sheet
<b>G000</b>	COVER SHEET	E0.1	SITE PHOTOMETRIC CALCS
<b>Civil S</b>	heets	E0.2	SITE PHOTOMETRIC LIGHTIN
V1.0	TITLE SURVEY		
C0.1	TITLE SHEET	Lands	scape Sheets
C1.0	REMOVALS PLAN	L1	LANDSCAPE PLAN
C2.0	SITE PLAN	L2	LANDSCAPE DETAILS & NOTI
C3.0	GRADING PLAN	Archi	tectural Sheets
C4.0	UTILITY PLAN	A001	SITE PLAN
C5.0	CIVIL DETAILS	A101	FLOOR PLAN
C5.1	CIVIL DETAILS	D101	DEMO PLAN
C5.2	CIVIL DETAILS	A101	FLOOR PLAN
SW1.0	SWPPP - EXISTING CONDITIONS	A120	ROOF PLAN
SW1.1	SWPPP - PROPOSED CONDITIONS	A201	BUILDING SECTION
SW1.2	SWPPP - DETAILS	A301	BUILDING SECTION w/SIGHTL
SW1.3	SWPPP - NARRATIVE		

					PRC
TOTAL BUILDING				OCCUPAN	IT LOAD
ROOM NAME & NUMBER (1)	1	T SQ. FT. REA <b>(2)(3)</b>	F	ACTOR <b>(3)</b>	CHILD TOT
INFANT 1		446		1/35	12
INFANT 2		447		1/35	12
INFANT 3		518		1/35	12
TODDLER TRANSITION		638		1/35	14
TODDLER 1		639		1/35	14
TODDLER 2		663		1/35	14
TODDLER 3		854		1/35	21
PRESCHOOL 1		755		1/35	20
PRESCHOOL 2		752		1/35	20
PRESCHOOL 3		753		1/35	20
PRESCHOOL 4		1171		1/35	30
RECEPTION (5)		103		1/150	-
DIRECTOR OFFICE (5)		138		1/150	-
KITCHEN (5)		313		1/200	-
CONFEREMCE R, (5)		241 net		1/15	-
TOTAL LICSENCING OCCUPANT LOAD		8,404 SF			18
ARGE MOTOR GYM "LMR" (Accesso	vry)	1287 SF	:	1/35	36
TOTAL MSBC EXITING OCCUPANT LOAD:	As s	hown on Life	Safe	ty Plan = 148	Occupants
OTHER REQUIREMENTS: PER IBC TABLE 803.13 IN SPRINKLE					
PER IDC TABLE 603.13 IN SPRINKLE		DUILDINGS			LDREN 3
PER IBC TABLE 1017.2 IN SPRINKLE	RED	BUILDINGS,	TRA	VEL DISTANC	E FROM
ROOM LOCATION SHALL BE MAXIM	IUM 20	00 FEET FOF	х ос	CUPANCY TY	′PE I-4.



# Client

NEW HORIZON ACADEMY

HEIDI PROSS 3405 ANNAPOLIS LANE NORTH SUITE 100 PLYMOUTH, MN 55447 P: 763-383-6216 Email: hpross@nhacademy.net

## **Civil Engineer**

CIVIL SITE GROUP DAVID KNAEBLE 5000 GLENWOOD AVENUE GOLDEN VALLEY, MN 55422 P: 763-234-7523 Email: dknaeble@civilsitegroup.com

## Site Lighting

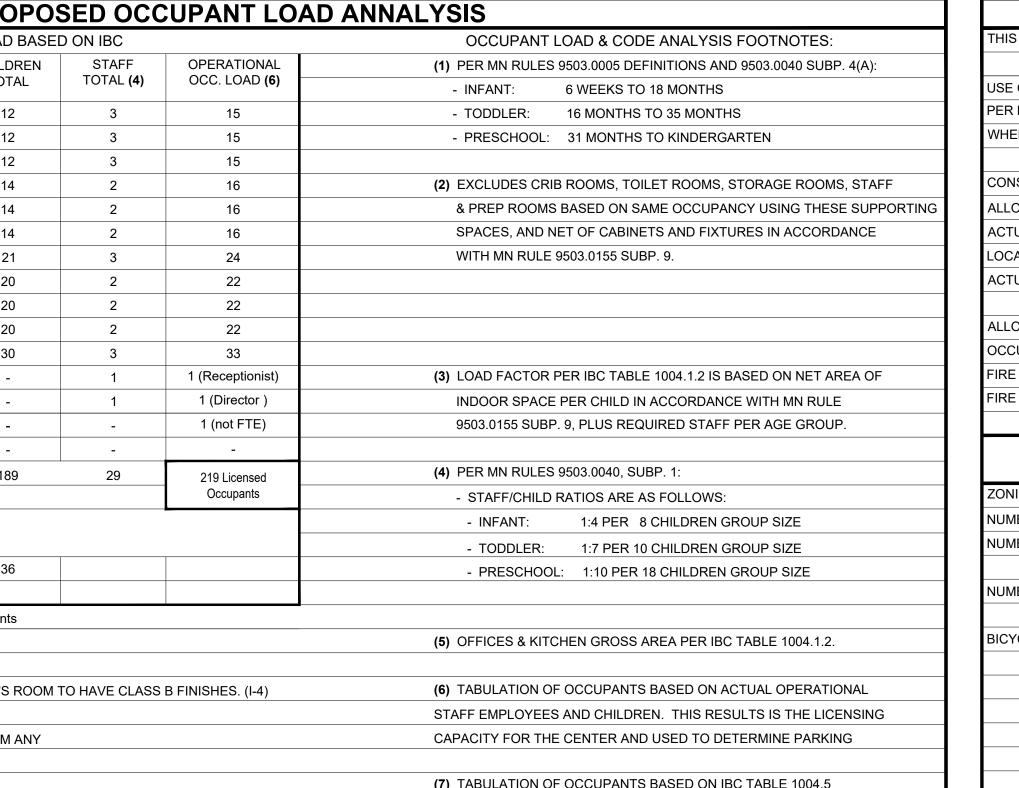
STEEN ENGINEERING, INC. JOHN ALSETH P: 763-235-4796 Email: johna@steeneng.com

# CONSULTANT INDEX Architect

RYLAUR, LLC A. PETER HILGER, AIA 14 PHEASANT LANE NORTH OAKS, MN 55127 P: 612-868-3636 Email: philger@rylaur.com

## Landscape Design

SIMONET DESIGN CARMEN SIMONET, PLA P: 651-695-0273 Email: carmen@simonetdesign.com



(7) TABULATION OF OCCUPANTS BASED ON IBC TABLE 1004.5THESE RESULTS USED FOR PURPOSES OF LIFE SAFETY & EXITINGSEE SHEET LSP1 & LSP2 FOR EXITING REQUIRMENTS

## THIS SUMMARY BASED ON:

USE GROUP CLASSIFICATIONS: PER MN RULES 1305.0308 (308.5) WHEN GREATER THAN 5 CHILDREI

CONSTRUCTION TYPE (SECTION 60 ALLOWABLE NUMBER OF STORIES ACTUAL NUMBER OF STORIES: LOCATION OF THIS SPACE ACTUAL BUILDING AREA:

ALLOWABLE AREA (TBL 503 & 506.3 OCCUPANCY SEPARATION (TABLE FIRE RESISTANCE RATING (TABLE FIRE RESISTANCE RATING (TABLE

ZONING REQUIREMENT FOR DAY
NUMBER OF STAFF
NUMBER OF CHILDREN

NUMBER OF PARKING STALLS

BICYCLE PARKING SPOTS PROVIDI



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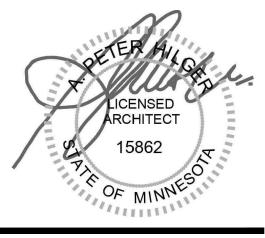


# 7000 57th AVENUE N. CRYSTAL, MN 55428 CITY SUBMITTAL 9.12.23

CO	DE SUMMARY
	2020 MN STATE BUILDING CODE
	GROUP I-4 (MSBC 308.6)
N (I-4)	
602.5):	TYPE VB SPRINKLERED
S	1 + 1 per MSBC 504.2
5	1 Story
	At Grade
	15,950 SF
3 Increase)	27 000 SF
E 508.4):	NONE
= 601):	NONE
= 602):	NONE
_ = = ).	i i one
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CARE FACII	LITY = Refer to Parking Analysis Report
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CARE FACII = 29 OCCI = 189 OC = 43 STAI	LITY = Refer to Parking Analysis Report UPANTS CUPANTS LLS PROVIDED

A. PETER HILGER #15862

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota



Drawing Date: 09.12.2023

Drawing History/Revisions:

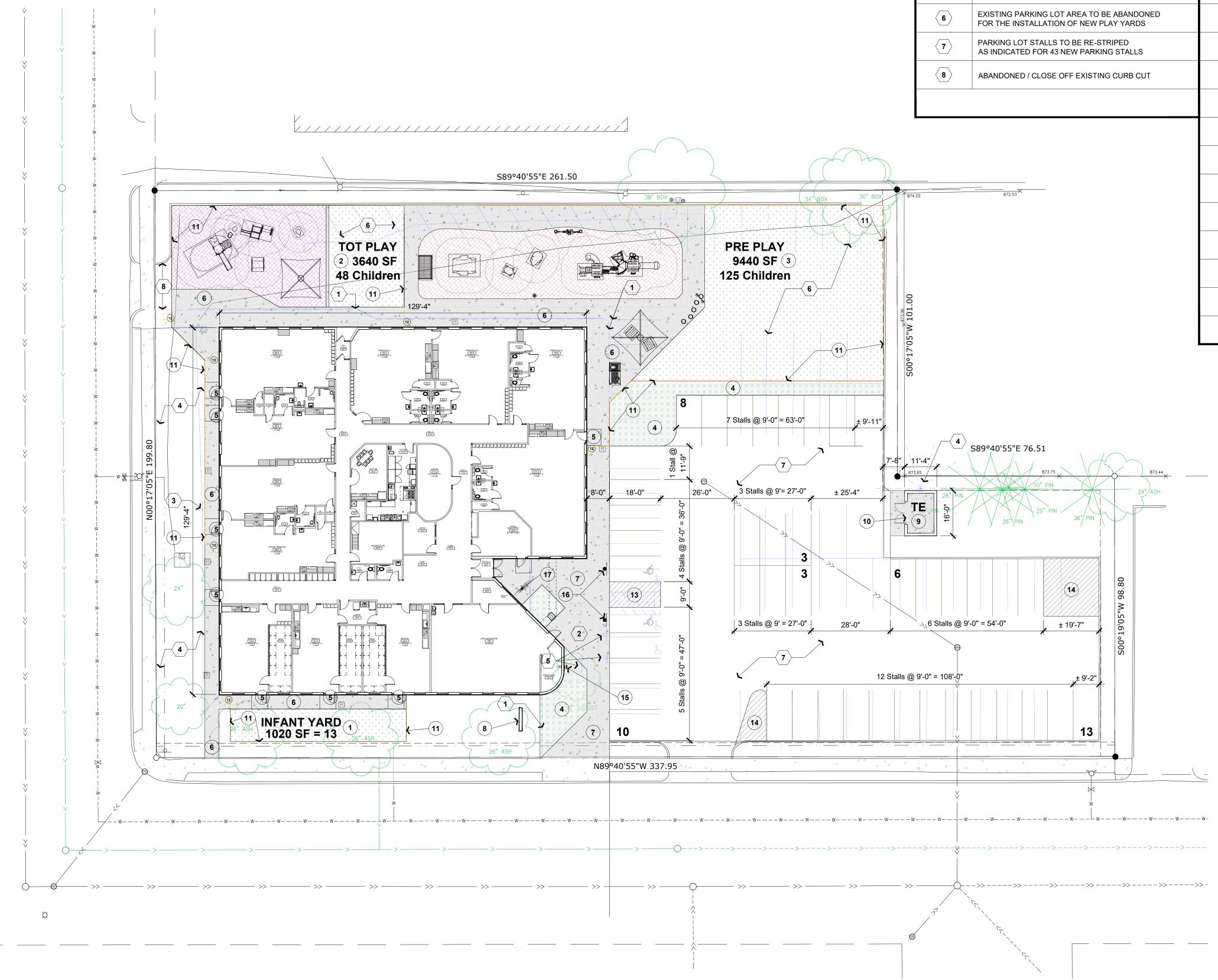
Project Architect: A. PETER HILGER, AIA

Checked By:

SHEET TITLE: COVER SHEET

Drawn By: VJH







<b>#</b>	SITE DEMO KEYNOTES	#	SITE PLAN KEYNOTES
	DEMOLISH ALL EXISTING PERIMETER CONC. SIDEWALKS	1	INFANT PLAY YARD w/NATURAL GRASS Entire Yard = 1020 sf @ 75 per child = 13 kids
<b>2</b>	DEMOLISH EXISTING FRONT ENTRY CONC.	2	TODDLER PLAY YARD w/FALLZONE MATERIAL Entire Yard = 3640 @ 75 sf per child = 48 kids
3	REMOVE EXISTING FENCE	3	PRESCHOOL PLAY YARD w/FALLZONE MATERIAL Entire Yard = 9440 sf @ 75 sf per child = 125 kids
4	REMOVE LANDSCAPING AS NEEDED	4	LANDSCAPE AREA
5	REMOVE DROP BOX & HC PARKING SIGNS	5	NEW EXIT DOOR & STOOP
6	EXISTING PARKING LOT AREA TO BE ABANDONED FOR THE INSTALLATION OF NEW PLAY YARDS	6	NEW CONC. SIDEWALK
<b>7</b>	PARKING LOT STALLS TO BE RE-STRIPED AS INDICATED FOR 43 NEW PARKING STALLS	7	NEW CONC. PLAZA
<b>8</b>	ABANDONED / CLOSE OFF EXISTING CURB CUT	8	EXISTING MONUMENT SIGN TO BE REFURISHED REPLACE ILLUMINATE SIGN BOX
		9	NEW OPEN AIR TRASH ENCLOSURE
		10	CONCRETE APRON & ENCLOSURE PAVEMENT PAD
		(11)	NEW YARD YARD FENCE
		(12)	NEW YARD YARD GATE w/POOL ALARM
		13	HANDICAP ACCESS ISLE
		14	STRIPE OFF PAVEMENT TO INDICATE NO PARKING ZONE
		15	NEW FIRE DEPARTMENT CONNECTION & KNOX BOX. INSTALL NEW FIRE LINE INTO BUILDING FOR NEW FIRE SPRINKLER SYSTEM
		16	HANDICAP PARKING SIGN
		(17)	BICYCLE RACK



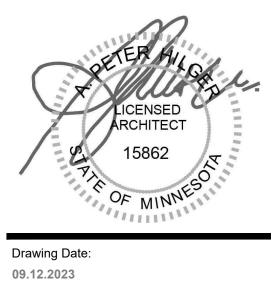
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PROJECT INFORMATION: NEW HORIZON ACADEMY 7000 57th AVENUE NORTH CRYSTAL, MN 55428

CLIENT INFORMATION: NEW HORIZON ACADEMY 3405 ANNAPOLIS LANE N. PLYMOUTH, MN 55447

A. PETER HILGER #15862

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota



Drawing History/Revisions:

Project Architect: A. PETER HILGER, AIA

> Checked By: APH

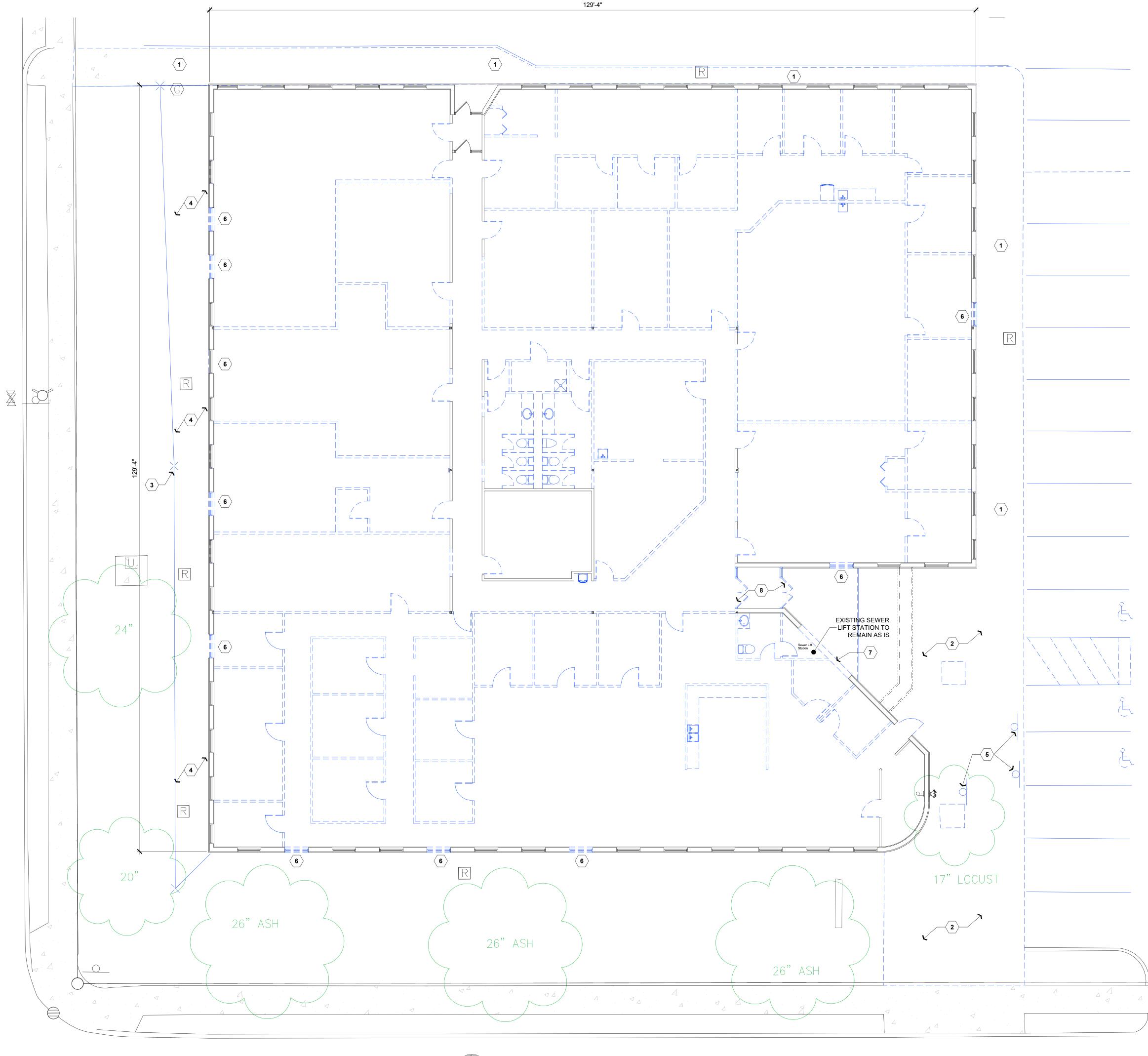
SHEET TITLE: SITE PLAN

<u>Drawn By:</u> VJH



## **JEMO PLAN KEYNOTES**

	DEMOLISH ALL EXISTING PERIMETER CONC. SIDEWALKS
<b>2</b>	DEMOLISH EXISTING FRONT ENTRY CONC.
3	REMOVE EXISTING FENCE
<b>4</b>	REMOVE LANDSCAPING AS NEEDED
5	REMOVE DROP BOX & HC PARKING SIGNS
6	REMOVE WINDOW AND WALL BELOW SILL FOR THE INSTALLATION OF NEW EXIT DOOR
~7>	REMOVE EXISTING MASONRY KNOCK OUT WALL FOR THE INSTALLATION OF NEW STOREFRONT
8	REMOVE EXISTING ENTRY VESTIBULE DOORS FOR THE INSTALLATION OF NEW STOREFRONT
	•







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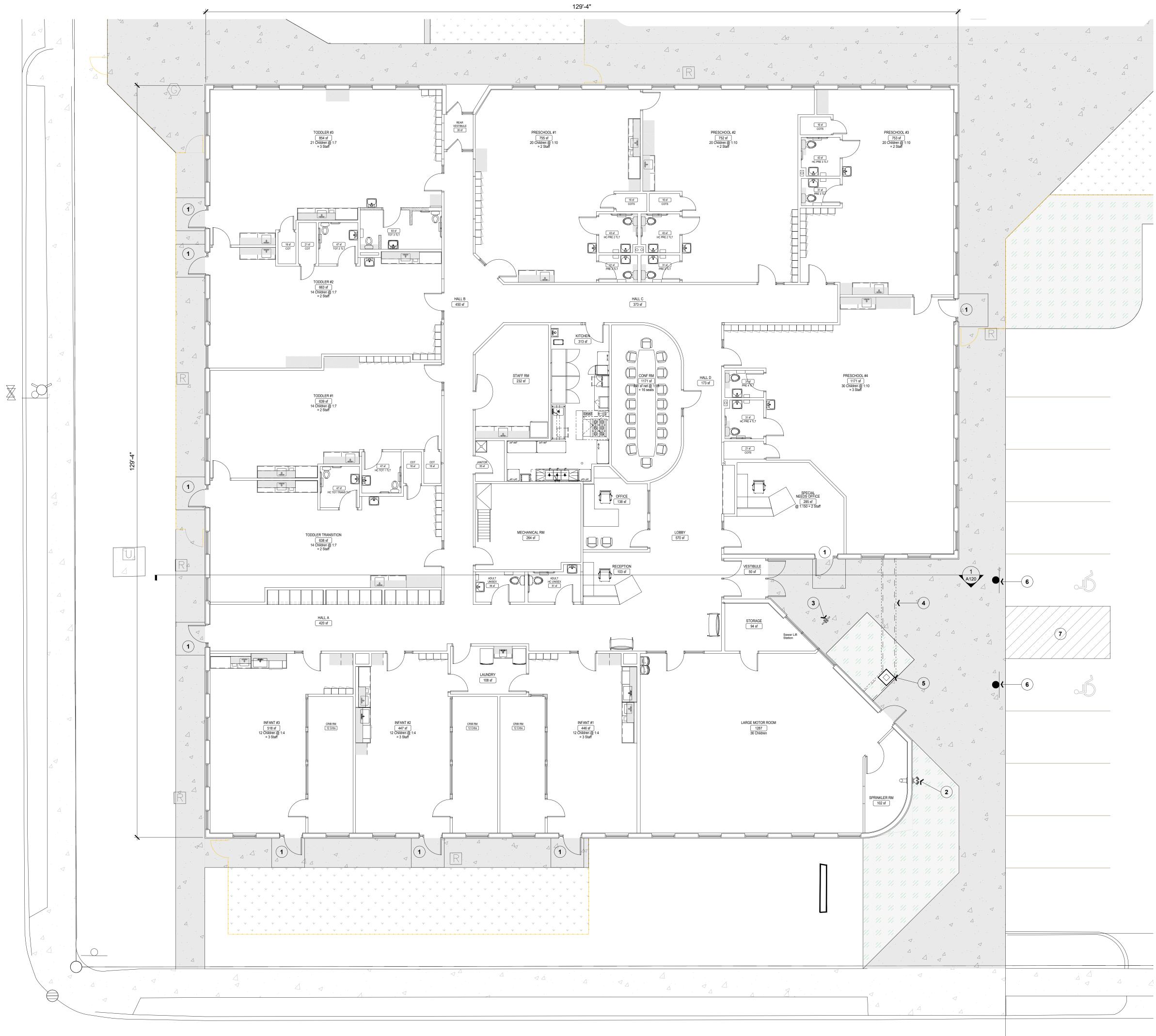
Project Architect:	
A. PETER HILGER, AIA	
<u>Drawn By:</u> VJH	Checked By: APH
	7
SHEET TITLE:	
DEMO PLAN	



## **GENERAL NOTES**

A. NEW FIRE LINE SERVICE TO BE BROUGHT INTO BUILDING FOR THE INSTALLATION OF FIRE SPRINKLER SYSTEM

#	<b># FLOOR PLAN KEYNOTES</b>					
1	MODIFY EXISTING OPENING FOR THE INSTALLATION OF NEW EXIT DOOR & INSTALL CONC. STOOP					
2	NEW FIRE DEPARTMENT CONNECTION & KNOX BOX. INSTALL NEW FIRE LINE INTO BUILDING FOR NEW FIRE SPRINKLER SYSTEM					
3	BIKE RACK					
4	NEW CANOPY FACADE ABOVE					
5	NEW CANOPY COLUMN					
6	NEW HANDICAP PARKING SIGN Btm/Sign between 60" to 66" Above Pavement					
7	NEW HANDICAP ACCESS AISLE					
8	NEW HANDICAP ACCESS AISLE					



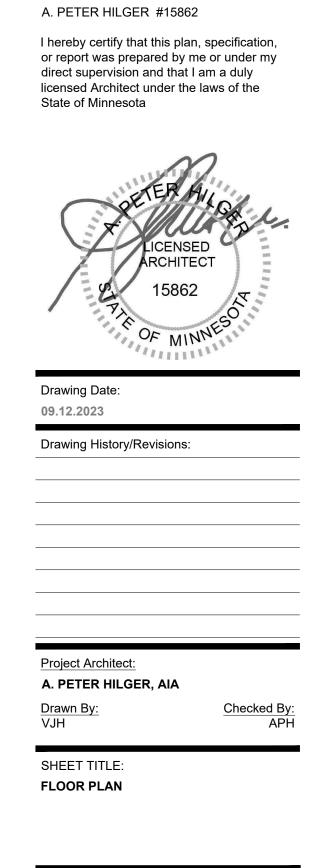
FLOOR PLAN SCALE: 1/8" = 1'-0" 

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CLIENT INFORMATION:

NEW HORIZON ACADEMY 3405 ANNAPOLIS LANE N. PLYMOUTH, MN 55447



Sheet No A101

## **GENERAL NOTES**

A. PARAPET SCREEN WING WALL LENGTH TO BE COORDINATED w/ACTUAL RTU SIZE

<b># FLOOR PLAN KEYNOTES</b>					
1	EXISTING RTU TO BE REPLACED				
2	NEW RTU LOCATION SEE GENERAL NOTE A				
3	NEW MAKE UP AIR UNIT				
4	EXISTING ROOF HATCH				

<b></b>						
EXTERIOR MATERIAL LEGEND						
Refe	Refer to Exterior Elevations on Sht A201					
1	ALUMINUM & METAL FINISH Mnfgr: Rollex or Equal Color: DARK BRONZE					
2	EXTERIOR INSULATION FINISH SYSTEM (EIFS) Mnfgr: Sto or Equal Manufacturer Color: WINTER WALK By Sherwin Williams SW					
3	ACCENT BAND & ACCENT SQUARES Type: Metal Accent Band & Glazed Conc. Block Color: Pantone 301					
4	STAINED RIBBED WALL PANEL Mnfgr:T.B.D. Color: OAK LEAF BROWN By Sherwin Williams SW 7084 Or Similar. Color to be shade darker than Adaptive Shade by Sherwin Williams due to fade					
5	STONE VENEER Mnfgr:Cultured Stone Color: CHARDONNAY Type: Southern Ledgestone					
6	TRASH ENCLOSURE GATE Mnfgr: Trex Fencing Color: WOODLAND BROWN					

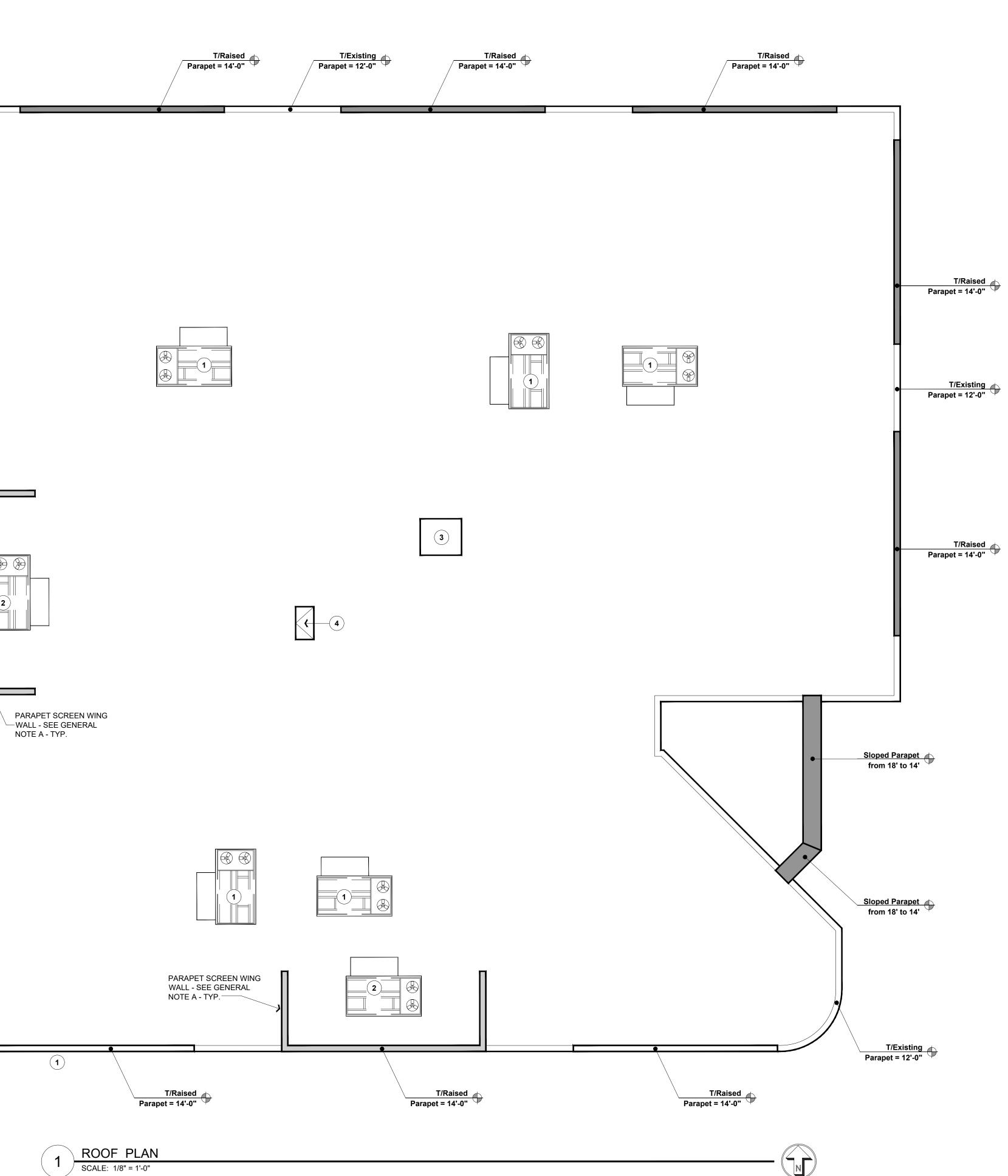
T/Existing
Parapet = 12'-0"

T/Raised Parapet = 14'-0"

(H) (H) (2) Ю

T/Screening Parapet = 16'-0"

T/Raised Parapet = 14'-0"



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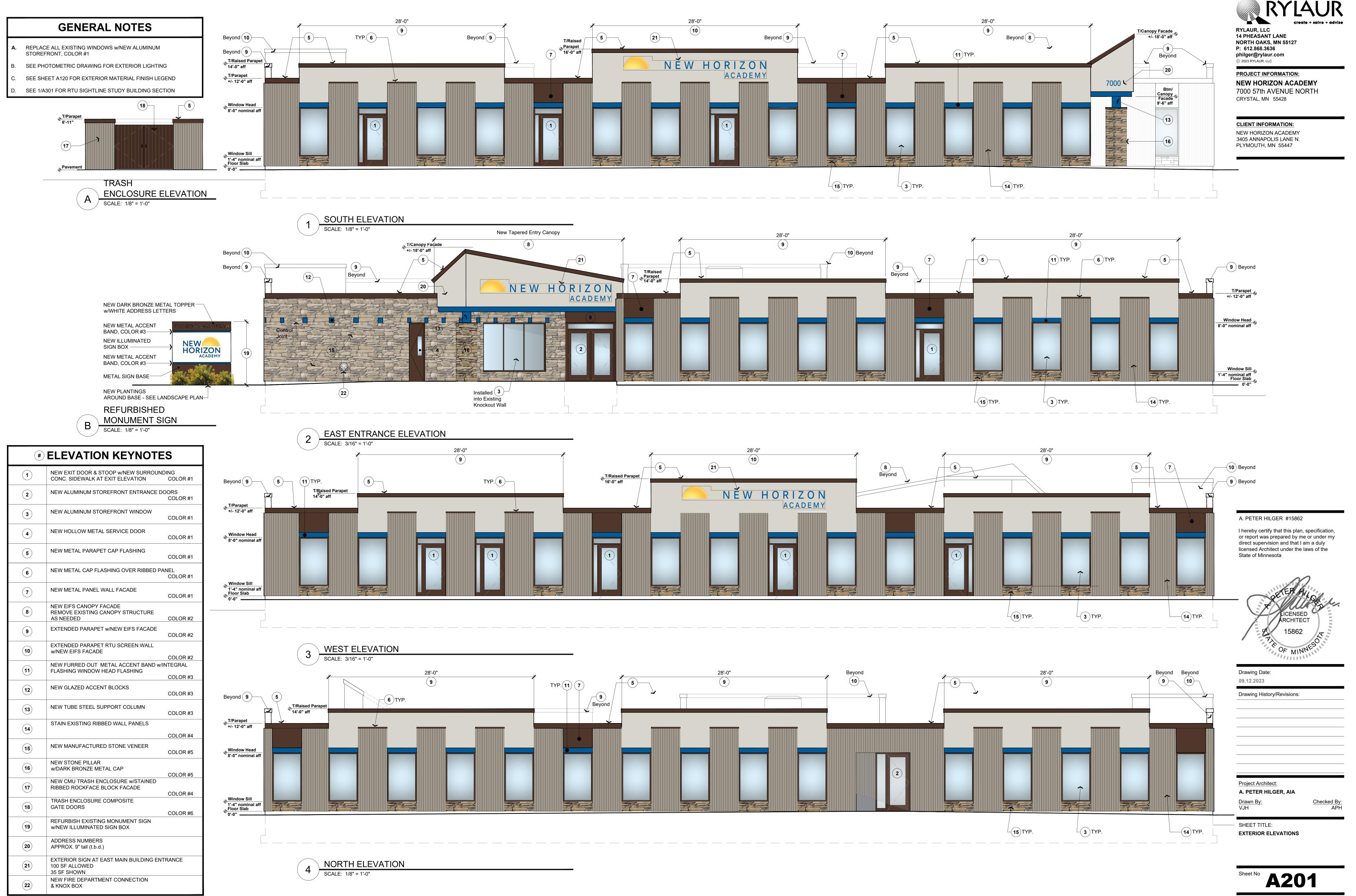
Drawing History/Revisions:

Project Architect: A. PETER HILGER, AIA <u>Drawn By:</u> VJH

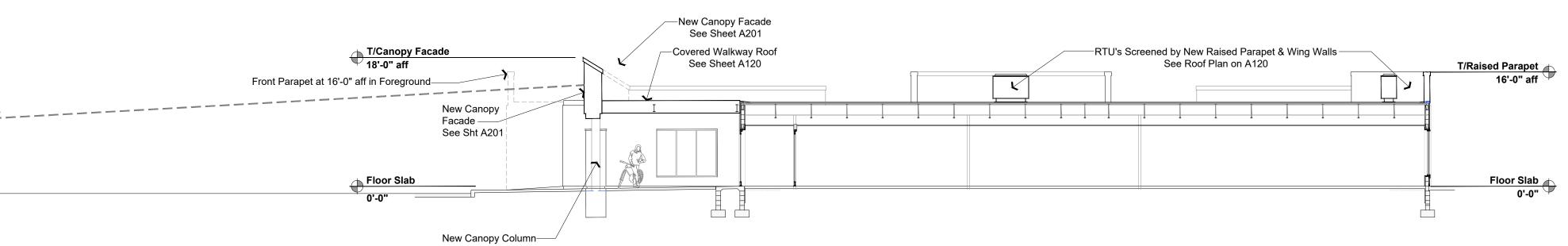
Checked By: APH

SHEET TITLE: ROOF PLAN





ERTY LINE	LINE SIGHT FROM PROPERTY LINE
PROP	1 BUIDING SECTION WITH SIGHTLINE STUDY SCALE: 3/32" = 1'-0"





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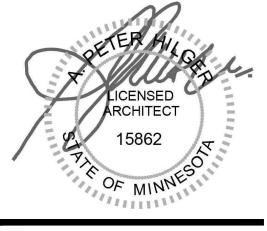
**PROJECT INFORMATION:** NEW HORIZON ACADEMY 7000 57th AVENUE NORTH CRYSTAL, MN 55428

**CLIENT INFORMATION:** 

NEW HORIZON ACADEMY 3405 ANNAPOLIS LANE N. PLYMOUTH, MN 55447

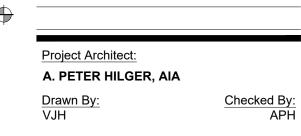
## A. PETER HILGER #15862

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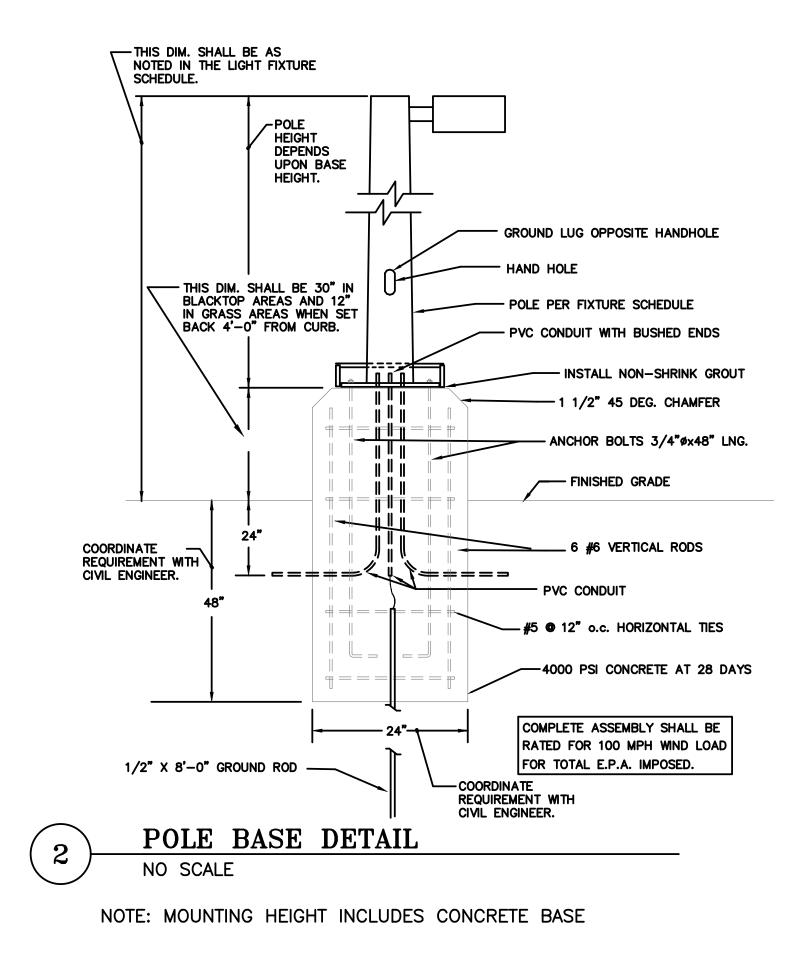
Drawing Date: 09.12.2023

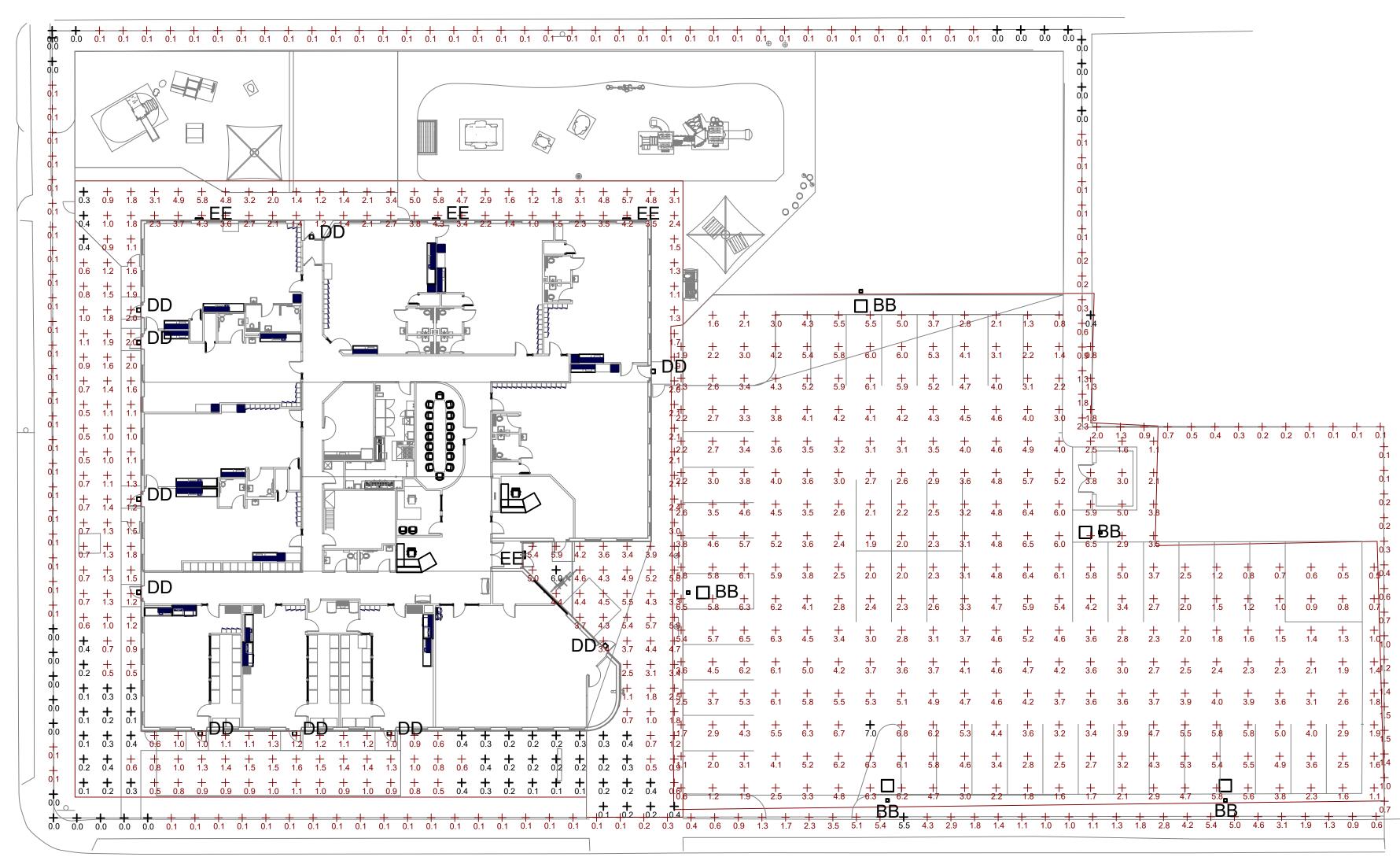
Drawing History/Revisions:



SHEET TITLE: BUILDING SECTION w/SIGHTLINE STUDY

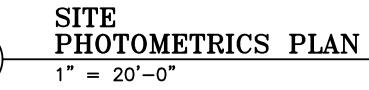
Sheet No **A301** 





Statistics		Γ	1		I	
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BUILDING PERIMETER	+	1.8 fc	6.0 fc	0.1 fc	60.0:1	18.0:1
PARKING LOT	+	3.7 fc	7.0 fc	0.4 fc	17.5:1	9.3:1
PROPERTY LINE	+	0.6 fc	5.5 fc	0.0 fc	N/A	N/A

Schedule										
Symbol	Label	Mounting Height (FT)	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	BB	20	5	LSI INDUSTRIES, INC.	SLM-LED-18L-SIL-FT-40- 70CRI		1	18909	1	135
	DD	10	10	COOPER LIGHTING SOLUTIONS - INVUE (FORMERLY EATON)	ENC-SA1-740-U-T2-HSS- -XXB	ENTRI LED LUMINAIRE (1) 70 CRI, 4000K LIGHTSQUARE IN BATTERY OPERATION WITH 16 LEDS AND TYPE II OPTICS WITH HOUSE SIDE SHIELD	16	36	1	13
EE EE		10	4	Lithonia Lighting	DSXW2 LED 20C 530 40K TFTM MVOLT	DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED's, 530mA DRIVER, 4000K LED, TYPE FORWARD THROW MEDIUM OPTIC	1	4281	1	36



57TH AVENUE NORTH (A Public R/W)

ENGINEERING 763-585-6742 763-585-6757 fax Email: steen@steeneng.com

5430 Douglas Drive North Minneapolis, MN 55429

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Tiend /

Richard D. Becker Typed or Printed Name

Signature

53700 License # <u>09/11/2023</u> Date Electrical Discipline RYL202204 Job Number

Drawing Date: 09.11.2023	
Drawing History/Revisions:	
Project Architect: A. PETER HILGER, AIA	Project No.: RYL202304
<u>Drawn By:</u> CS	<u>Checked By:</u> JA
SHEET TITLE:	
SITE PHOTOMETRIC	

CALCULATIONS







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**CLIENT INFORMATION:** NEW HORIZON ACADEMY 3405 ANNAPOLIS LANE N. PLYMOUTH, MN 55447

## BB



## Outdoor LED Area Light

🚛 c 🔐 us 💯 🤐 🥮 1P66 1K08

OVERVIEW				
Lumen Package	9,000 - 55,000			
Wattage Range	62 - 436			
Efficacy Range (LPW)	114 - 162			
Weight Ibs(kg)	27 (12.2)			
Control Options	IMSBT, ALB, ALS, 7-Pin, PCI			

## **FEATURES & SPECIFICATIONS**

- Construction Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Fixtures are finished with LSI's DuraGrip\* polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 33 lbs in carton.

## **Optical System**

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in distribution types 2, 3,4, 5W, FT, FTA, AM, and LC/RC.
- · Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.

## Zero uplight.

- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also available in phosphor converted amber with peak intensity at 610nm.
- Minimum CRI of 70 Integral louver (IL) and integral half
- louver (IH) options available for enhanced backlight control.

- Electrical High-performance driver features overvoltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% 100%) standard. Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).

Project :

- L80 Calculated Life: >100k Hours (See Lumen Maintenance chart)
- Total harmonic distortion: <20%</li> Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +400C. 55L lumen
- package rate to +35°C.

QUICK LINKS

Ordering Guide

- Power factor: >.90
- Input power stays constant over life. Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation Driver is fully encased in potting material
- for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed. Controls

## Optional integral passive infrared

- Bluetooth<sup>™</sup> motion sensor. Fixtures operate independently and can be commissioned via iOS or Android configuration app.
- LSI's AirLink<sup>™</sup> wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • (513) 372-3200 • www.lsicorp.com B USI Industries Inc. All Rights Reserved. Specifications and dimensions subject to industry standard tolerances. Specifications subject to change without notice.

Installation

Performance Photometrics Dimensions

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire. Utilizes LSI's traditional B3 drill pattern.
- (See drawing in poles section)
- Warranty LSI luminaires carry a 5-year limited warranty. Refer to https://www.lsicorp. com/resources/terms-conditionswarranty/ for more information.

## Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements. IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet locations.
- IP66 rated Luminaire per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applicationsapplicationsare qualified.
- IK08 rated luminiare per IEC 66262 mechanical impact code.
- DesignLights Consortium\* (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www. designlights.org/QPL to confirm which versions are qualified.

 Patented Silicone Optics (US Patent NO. 10,816,165 B2)

> Page 1/10 Rev. 08/03/23 SPEC.1110.B.1122

## DD

## **McGraw-Edison** Impact Elite LED Wall Mount Luminaire Product Certifications A Interactive Menu Ordering Information page 2 Product Specifications page 2 Energy and Performance Data page 3 Control Options page 4 **Quick Facts** P Connected Systems 15 Optical Distributions WaveLinx Lumen packages range from 2,459 to 11,480 Enlighted (20W - 95W) Efficacy up to 149 lumens per watt **Dimensional Details** Quarter Sphere Hook -n- Lock - 9" [229mm]-Trapezoid \_\_\_\_\_\_16-1/2" [419mm]\_\_\_\_\_\_ 9" [229mm]———] \_\_\_\_\_\_16-1/2" [419mm] \_\_\_\_\_\_ -8-1/4" [210mm]-NOTES: 1. IDA Certified for 3000K CCT and warmer only.

**O** COOPER

PS500049EN page 1 February 14, 2023 7:25 PM

EE



COMMERCIAL OUTDOOR

Orderin	ng Informa	ation			EX	AMPLE	: DSXW2 LED	30C 700	0 40K T3M MVOLT DDBTX
DSXW2 LED									
ieries	LEOS	<b>Drive Current</b>	Color temperature	Distribution	V	oltage	Mounting	Control Optio	ons
DSXW2 LED	20C 20 LEDs (two engines) 30C 30 LEDs (three engines)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA <sup>1</sup> (1 A)	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted <sup>1</sup>	T2M Type T3S Type T3M Type T4M Type TFTM Forv	e II Medium e III Short e III Medium e IV Medium ward Throw	MVOLT <sup>3</sup> 120 <sup>4</sup> 208 <sup>4</sup> 240 <sup>4</sup> 277 <sup>4</sup> 347 <sup>4,5</sup> 480 <sup>4,5</sup>	Shipped included (blank) Surface mounting bracket Shipped separately <sup>6</sup> BBW Surface- mounted back box (for conduit entry)	Shipped ins PE PER PERS PER7 DMG PIR PIRH PIRH PIR1FC3V PIRH1FC3V	Photoelectric cell, button type <sup>T</sup> NEMA twist-lock receptacle only (control ordered separate) <sup>6</sup> Five-wire receptacle only (control ordered separate Seven-wire receptacle only (control ordered separate) <sup>6</sup> 0-10v dimming wires pulled outside fixture (for us with an external control, ordered separately) 180 motion/ambient light sensor, <15' mig ht <sup>16</sup> 180° motion/ambient light sensor, 15-30' mig ht <sup>16</sup> Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 11c <sup>10,10</sup> Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 11c <sup>10,10</sup>
Ither Options				inish (required)					
Shipped installed         Shipped separately 17           SF         Single fuse (120, 277, 347V) 3         BSW         Bind-deterrent si           DF         Double fuse (208, 240, 480V) 3         VG         Vandal guard           HS         House-side shield 4         VG         Vandal guard           SPD         Separate surge protection 13         VG         Vandal guard		l-deterrent spikes dal guard	DBLXD Black	al aluminum	DSSXD DDBTXD DBLBXD DNATXD	Sandstone Textured dark bronze Textured black Textured natural aluminum	DWH DSST)		

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**CLIENT INFORMATION:** NEW HORIZON ACADEMY 3405 ANNAPOLIS LANE N. PLYMOUTH, MN 55447

# D-Series Size 2 LED Wall Luminaire Catalog Number

Notes

### Back Box (BBW) 5-1/2" BBW 1 lbs Weight: (14.0.ct 1-1/2" (3.8 cm) 4" (10.2 cm) For 3/4" NPT - D —w— 0

Standard Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability. All configurations of this luminaire meet the Acuity

- Brands' specification for chromatic consistency This luminaire is A+ Certified when ordered with DTL<sup>®</sup> controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1 This luminaire is part of an A+ Certified solution for ROAM<sup>®</sup> or XPoint<sup>™</sup> Wireless control networks, providing out-of-the-box control compatibility with
- simple commissioning, when ordered with drivers and control options marked by a shaded background<sup>1</sup> To learn more about A+, visit <u>www.acuitybrands.com/aplus</u>.
- 1. See ordering tree for details.
- 2 A+ Certified Solutions for ROAM require the order



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763-585-6742

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Signature Richard D. Becker Typed or Printed Name

53700	09/11/2023	
License #	Date	
Electrical		
Discipline		
RYL202204		
Job Number		

Drawing Date: 09.11.2023 Drawing History/Revisions:

Project Architect: A. PETER HILGER, AIA <u>Drawn By:</u> CS

Project No .: RYL202304 Checked By:

SHEET TITLE: SITE PHOTOMETRIC LIGHTING CUT SHEETS

